

CITY OF BELLE GLADE – AIRPORT PARK RENOVATIONS




AIRPORT PARK  
BUILDING RENOVATIONS & PARK IMPROVEMENTS

SITE A – SECTION 1:  
CONCESSION STAND/BATHROOM FACILITIES  
BUILDING RENOVATIONS AND DUGOUT  
RE-ROOFING.

SEE ARCHITECTURAL PLANS AND SPECIFICATIONS  
FOR ADDITIONAL INFORMATION.



AIRPORT PARK IMPROVEMENTS  
1400 N MAIN STREET  
BELLE GLADE, FLORIDA

OWNER		OVERALL SITE MAP	INDEX OF DRAWINGS																					
<div>CITY OF BELLE GLADE 110 DR. M.L.K JR. BLVD BELLE GLADE, FLORIDA 33430</div>			<div>ARCHITECTURAL:</div> <div>A0 COVER SHEET</div> <div>G003 GENERAL NOTES &amp; SPECIFICATIONS</div> <div>A1.0 OVERALL DEMO &amp; FLOOR PLAN, DOOR SCHEDULE</div> <div>A1.03 FIRST FLOOR REFLECTED CEILING PLAN, LIGHT FIXTURE SCHEDULE, FINISH SCHEDULE</div> <div>A1.05 ROOF PLAN, NOTES</div> <div>A3.00 BUILDING ELEVATIONS</div> <div>A5.00 ENLARGED RESTROOM PLANS AND INTERIOR ELEVATIONS</div> <div>A5.01 ENLARGED CONCESSION PLAN AND INTERIOR ELEVATIONS AND CASEWORK DETAILS</div>																					
PROJECT TEAM																								
<div>ARCHITECT:</div> <div>SALTZ MICHELSON ARCHITECTS</div> <div>3501 GRIFFEN ROAD</div> <div>FT. LAUDERDALE, FLORIDA, 33312</div> <div>TELEPHONE: (954) 266-2700</div>																								
SCOPE OF WORK		GENERAL NOTES		MANUFACTURER'S INSTRUCTIONS																				
<div>RENOVATION TO THE EXISTING CONCESSION/BATHROOMS BUILDING. REPLACE THE EXISTING ROOF ON THE CONCESSION/BATHROOM BUILDING. THE CONCESSION BUILDING SERVING AREA AND BATHROOMS WILL BE RENOVATED</div>		<div><div>1. THE CONTRACTOR SHALL VISIT THE SITE OF THE WORK AND EXAMINE THE PLANS AND IT WILL BE ASSUMED THAT THE CONTRACTOR HAS INVESTIGATED AND IS FULLY INFORMED AS TO THE CONDITIONS AND MATERIALS TO BE ENCOUNTERED AS TO CHARACTER, QUALITY AND QUANTITIES OF WORK TO BE PERFORMED AND MATERIALS TO BE FURNISHED AND AS TO THE REQUIREMENTS OF THE PLANS AND ANY FUTURE PLANS DEVELOPED BY THE SELECTED DB TEAM.</div><div>2. CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS IN THE FINAL PLANS AND ON THE JOB SITE PRIOR TO EXECUTION OF ANY WORK AND SHALL IMMEDIATELY NOTIFY THE DB ARCHITECT OF ANY DISCREPANCIES. THE CONTRACTOR WILL BE RESPONSIBLE FOR ALL COSTS ARISING FROM A FAILURE TO PERFORM A VERIFICATION AND TO MAKE TIMELY NOTIFICATION OF DISCREPANCIES. THE DB ARCHITECT WILL, IN AN EXPEDIENT MANOR, PROVIDE THE OWNER WITH REVISED DRAWINGS REFLECTING ANY OF THESE DISCREPANCIES AND RELATED MITIGATION FOR REVIEW AND APPROVAL.</div><div>3. DO NOT SCALE DRAWINGS.</div><div>4. CONTRACTOR WILL WARRANT IN WRITING ALL MATERIALS AND WORKMANSHIP FOR A PERIOD OF TIME AS APPROVED AND/OR CONTRACTED WITH CITY.</div><div>5. CONTRACTOR SHALL COORDINATE AND SUPERVISE HIS WORK AND WORK BY SUBCONTRACTORS.</div><div>6. THESE PLANS ARE THE PROPERTY OF THE CITY AND SHALL NOT BE USED, REPRODUCED, OR CHANGED IN ANY WAY WITHOUT THE EXPRESSED WRITTEN CONSENT OF THE CITY.</div><div>7. GENERAL CONTRACTOR SHALL DO ALL CUTTING AND PATCHING OF CONCRETE SLABS, WALLS, ETC. AS MAY BE REQUIRED FOR ALL TRADES TO ACCOMPLISH ALL WORK REQUIRED BY THESE DESIGN CRITERIA DOCUMENTS. PATCH &amp; REPAIR AS REQUIRED.</div><div>8. CONTRACTOR'S INSTALLATION OF ALL UTILITIES AND SUBSEQUENT HOOKUP SHALL BE AS NECESSARY TO ASSURE CONFORMANCE WITH UTILITY COMPANY AND CITY REQUIREMENTS.</div><div>9. IT IS THE INTENT OF THE DB ARCHITECT THAT THIS WORK BE IN CONFORMANCE WITH BUILDING AUTHORITIES HAVING JURISDICTION OVER THIS TYPE OF WORK AND OCCUPANCY. ALL CONTRACTORS SHALL DO THEIR WORK IN COMPLIANCE WITH THE F.B.C., 2014 ED., NATIONAL ELECTRIC CODE, NFPA, OSHA MDCPS DESIGN CRITERIA AND SPECIFICATIONS, AND OTHER APPLICABLE CODES AND REGULATIONS.</div><div>10. IT IS NOT THE INTENT OF THESE DESIGN CRITERIA DOCUMENTS TO SHOW EVERY MINOR DETAIL OF CONSTRUCTION. THE DB TEAM IS EXPECTED TO FURNISH AND INSTALL ALL CONSTRUCTION. THE CONTRACTOR IS EXPECTED TO FURNISH AND INSTALL ALL ITEMS REQUIRED TO COMPLETE THE WORK WITH GOOD WORKMANSHIP AND ASSURE PROPER WORKING ORDER. IN ADDITION CONTRACTOR SHALL AND IS REQUIRED TO PROVIDE COMPLETED WORKABLE AND OPERATIONAL BUILDING SYSTEMS.</div><div>11. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING AND PAYING FOR THE COST OF ALL INSPECTIONS AND TESTS REQUIRED TO IMPLEMENT THE PLANS AND OR AGREED TO AND CONTRACTED WITH CITY.</div><div>12. FIRE SEAL ALL NEW OPENINGS AND PENETRATIONS ON FIRE RATED WALLS.</div><div>13. LAYOUT OF FLOORS AND CEILING SHALL FOLLOW EXACTLY FUTURE DOCUMENTS. IF ANY DISCREPANCIES CONTACT THE DB ARCHITECT BEFORE START INSTALLATION.</div><div>14. AFTER APPROVAL OF THE FINAL PLANS, ALL REVISIONS MUST PROCEED THROUGH THE DB ARCHITECT FOR APPROVAL. ANY REVISIONS MADE THOUT THE WRITTEN APPROVAL OF THE DB ARCHITECT MAY BE CONSIDERED INVALID AND, AT THE SOLE DISCRETION OF THE DB ARCHITECT, THE WORK REJECTED AND REQUIRED TO BE MODIFIED AT NO COST TO THE OWNER.</div><div>15. OWNER'S SUB-CONTRACTORS SHALL BE ALLOWED TO DO WORK PRIOR TO SUBSTANTIAL COMPLETION SUBJECT ONLY TO THE APPROPRIATE PROGRESS OF THE WORK AND A SEVEN (7) DAY PRIOR NOTICE OF INTENT BY OWNER TO THE CONTRACTOR AND IN ACCORDANCE TO CITY CONTRACTOR.</div><div>16. CONTRACTOR SHALL PROVIDE PUBLIC, CITY STAFF, AND VISITORS PROTECTION AS NECESSARY PER CITY, STATE, AND LOCAL CODE REQUIREMENTS DURING CONSTRUCTION.</div><div>17. ALL MATERIALS AND WORK TO CONFORM TO LATEST GOVERNING BUILDING CODES AND REGULATIONS. SUBMIT FOR REVIEW NO LESS THAN (6) SETS OF SHOP DRAWINGS WHERE REQUIRED AND/OR INDICATED. HARD COPY AND/OR ELECTRIC IN ACCORDANCE WITH CITY CONTRACTUAL REQUIREMENTS.</div><div>18. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS AND PRODUCT APPROVALS FOR ALL NEW WORK, INCLUDING SIGNED AND SEALED SHOP DRAWINGS FROM A LICENSE FLORIDA ENGINEER.</div><div>19. CONTRACTOR SHALL LEAVE ACCESS TO ALL MEANS OF EGRESS DURING CONSTRUCTION AS PER CITY AND OR STATE, AND LIFE SAFETY CODES.</div><div>20. THE AIA GENERAL CONDITIONS OF THE CONTRACT FOR CONSTRUCTION, LATEST EDITION, ALONG WITH CITY CONTRACTUAL REQUIREMENTS, SHALL BE MADE PART OF THESE CONTRACT DOCUMENTS.</div><div>21. IT IS CITY POLICY THAT PROPER STEPS BE TAKEN TO ENSURE CITY STAFF, AND VISITOR SAFETY WHILE WORKING ON SITE. SHOULD CONTRACTOR REQUIRE ANY SHUTDOWNS, HOT WORK, OR CORE DRILLING, PLEASE CONTACT THE CITY PROJECT MANAGER TO PROVIDE YOU WITH COPIES OF THE FORMS AND REQUEST DOCUMENTATION FOR SUBMITTAL.</div><div>22. ALL ELECTRICAL SHUTDOWNS THAT EFFECT OTHER AREAS MUST BE SUBMITTED TO CITY PROJECT MANAGER IN ADVANCE PER CITY REQUIRED DAYS. ALL CONTRACTORS AND SUB-CONTRACTORS MUST HAVE A CITY SECURITY CLEARANCE AT ALL TIME.</div><div>23. CONSTRUCTION WORK HOURS AND RESTRICTIONS:<div><div>A. WHENEVER POSSIBLE CONTRACTOR SHALL PERFORM ALL DEMOLITION AND NEW WORK BETWEEN THE HOURS AS SET FORTH BY CITY MONDAY THROUGH FRIDAY EXCEPT ON FEDERAL HOLIDAYS.</div><div>B. THE BUILDING SHALL REMAIN OCCUPIED AND OPERATIONAL THROUGHOUT THE PROJECT. WORK SHALL BE ARRANGED TO ALLOW AS LITTLE INTERRUPTION AND INCONVENIENCE AS POSSIBLE AT CITY'S DIRECTION.</div><div>C. CONTRACTOR SHALL ALWAYS COORDINATE WORK WITH THE CITY PROJECT MANAGER FOR THE PROJECT.</div><div>D. THE CONTRACTOR IS TO SUBMIT A WRITTEN SCHEDULE TO CITY AND THE OWNERS' PM FOR APPROVAL. DETAILING CONSTRUCTION START AND CONSTRUCTION COMPLETION FOR EACH AREA. SCHEDULE OF WORK SHALL BE SUBMITTED AND APPROVED BY THE CITY PM PRIOR TO STARTING ANY WORK ACTIVITIES. THE CONTRACTOR IS TO PERFORM WORK IN SUCH A MANNER AS WOULD GIVE STAFF, VISITORS, AND OTHERS ACCESS TO ALL AREAS WITH EXCEPTION OF SMALL WORK SPACES ADJOINING EACH WORK AREA. WHEN POSSIBLE THE CONTRACTOR IS TO ALLOW HIMSELF ONLY ENOUGH SPACE TO MINIMALLY ALLOW CONSTRUCTION UNLESS OTHERWISE AUTHORIZED BY CITY.</div><div>E. CONTRACTOR SHALL MAINTAIN ALL REQUIRED MEANS OF EGRESS CLEAR OF HAZARDS AND DESTRUCTION AT ALL TIMES.</div><div>F. CONTRACTOR SHALL MAINTAIN ALL REQUIRED LIFE SAFETY SYSTEMS AND DEVICES OPERATIONAL AND CLEAR OF OBSTRUCTIONS AT ALL TIMES.</div><div>G. WORK UNDER THE CONTRACT AFFECTING WEATHER PROTECTION OF THE PREMISES, SUCH AS WINDOWS AND DOORS, SHALL NOT BE PERFORMED UNDER RAINY AND/OR HIGH WIND WEATHER CONDITIONS.</div></div></div><div>24. CONTRACTOR SHALL HAVE ALL MATERIAL SAFETY DATA SHEETS AVAILABLE AT THE JOB SITE IN A BINDER, CONTRACTOR TO PROVIDE ELECTRONIC COPY, ON A CD, TO CITY PROJECT MANAGER/ARCHITECT BEFORE START OF CONSTRUCTION.</div><div>25. THE FOLLOWING MUST BE POSTED AT THE JOB SITE:<div><div>A. PERMITS</div><div>B. INSPECTION LOGS</div><div>C. CONSULTANT AND SUB-CONSULTANT SIGH-IN SHEET</div><div>D. NOTIFY CITY STAFF OF DELIVERABLES</div></div></div><div>26. THE CONTRACTOR SHALL MAINTAIN AN APPROVED DRAWING SET ON SITE AND AVAILABLE FOR CITY AND ITS REPRESENTATIVES FULL ACCESS.</div></div>		<div>MANUFACTURER'S INSTRUCTIONS FOR INSTALLATION, APPLICATION, OR METHODS SHALL BE STRICTLY ADHERED TO AND BY REFERENCE ARE MADE A PART OF THESE PLANS AS IF FULLY WRITTEN HEREIN. FAILURE OF THE CONTRACTOR TO OBTAIN MANUFACTURERS INSTRUCTIONS SHALL NOT RELIEVE HIM FROM PERFORMING ALL OF THE REQUIREMNETS OF THE WORK. CONTRACTOR SHALL CONFIRM ALL EQUIPEMNT DIMENSIONS, ELEXTICAL REQUIREMENTS AND UTILITY CONNECTIONS PRIOR TO CONSTRUCTION WITH ACTUAL EQUIPMENTS MAKE AND MODEL. (CONTRACTOR SHALL REVIEW AND PRODUCE IN ACCORDANCE TO THE SPECIFICATIONS AS PART OF THESE DOCUMENTS).</div> <div>UNLESS OTHERWISE NOTED ALL OWNER PROVIDED ITEMS SHALL BE INSTALLED BY THE CONTRACTOR. THE INSTALLING CONTRACTOR AND SUBCONTRACTOR SHALL PROVIDE PROTECTION OF ALL OWNER PROVIDED ITEMS INADDITION SHALL PREPARE COORDINATION SHOP DRAWINGS TO CONFIRM INSTALLATION REQUIREMENTS PRIOR TO RECEIVING EQUIPMENT. INSTALLATION CONTRACTOR SHALL BE RESPONSIBLE FOR RECEIVING AN MOVING EQUIPMENT FROM DELIVERY LOCATION TO INSTALLATION SITE.</div>																				
PROJECT DATA				GENERAL PHASING NOTES																				
<div>APPLICABLE BUILDING CODE: FLORIDA BUILDING CODE 7th EDITION 2020 FLORIDA BUILDING CODE 7th EDITION 2020 - EXISTING BUILDING FLORIDA FIRE PREVENTION CODE 2020 EDITION NFPA 101 EDITION 2018</div> <div>OCCUPANCY FBC 304 - GROUP B - BUSINESS</div> <div>TYPE OF CONSTRUCTION: EXISTING BUILDING - RENOVATION TYPE IIB AS PER FBC 7th EDITION (2020) TABLE 601. - NOT SPRINKLERED</div> <div>ALTERATION LEVEL 2</div> <div>TOTAL BUILDING AREA = 1,621 SF</div> <div>ALLOWABLE HEIGHT AND BUILDING AREAS: BUILDING HEIGHTS &amp; AREA - TYPE II B TABLES 503 &amp; 506 23,000 SF, NS</div> <div>FIRE-RESISTANCE RATING REQUIREMENTS FOR BLDG. ELEMENTS: EXISTING TO REMAIN - NO CHANGE IN FIRE RATING CORRIDORS FIRE RATING = 0</div> <div>OCCUPANCY LOAD: TOTAL OCCUPANTS: 15 PEOPLE</div> <table><tr><th>EGRESS REQUIREMENTS: REQUIREMENT</th><th>REQUIRED</th><th>PROVIDED</th></tr><tr><td>COMMON PATH OF EGRESS TRAVEL</td><td>75' MAX</td><td></td></tr><tr><td>PER FBC TABLE 1006.2.1</td><td></td><td></td></tr><tr><td>TRAVEL DISTANCE TO EXIT</td><td>200' MAX</td><td></td></tr><tr><td>PER FBS TABLE 1017.2</td><td></td><td></td></tr><tr><td>DEAD END DISTANCE IN COORIDORS</td><td>20' MAX</td><td></td></tr><tr><td>PER FBC TABLE 1020.4</td><td></td><td></td></tr></table>				EGRESS REQUIREMENTS: REQUIREMENT	REQUIRED	PROVIDED	COMMON PATH OF EGRESS TRAVEL	75' MAX		PER FBC TABLE 1006.2.1			TRAVEL DISTANCE TO EXIT	200' MAX		PER FBS TABLE 1017.2			DEAD END DISTANCE IN COORIDORS	20' MAX		PER FBC TABLE 1020.4		
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AIRPORT PARK  
CONCESSION BUILDING  
CITY OF BELLE GLADE  
1400 N MAIN STREET  
BELLE GLADE, FL 33430



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Project No. :  
2022-178  
Drawn By :  
EQ  
Checked By :  
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Date:  
03/06/2023

REVISIONS

3/8/2023 9:59:05 PM

COVER SHEET

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GENERAL NOTES AND SPECIFICATIONS

MINIMUM STANDARDS:  
THESE CONSTRUCTION DOCUMENTS MIGHT REQUIRE LARGER SIZES, GREATER QUANTITIES, MORE PROTECTION AND REQUIREMENTS THAN THE GOVERNING BUILDING CODES. THE CONTRACTOR IS RESPONSIBLE FOR CARRYING OUT ALL OF THE PROVISIONS AND REQUIREMENTS INCLUDED IN THESE PLANS AND SPECIFICATIONS. SUBSTITUTIONS, ALTERNATES OR CHANGES REQUESTED TO MATCH LOWER STANDARDS PERMITTED BY THE BUILDING CODE WILL NOT BE ACCEPTED. NO ADDITIONAL PAYMENTS SHALL BE MADE TO THE CONTRACTOR TO CORRECT WORK THAT DOES NOT MEET ALL THE REQUIREMENTS SET FORTH IN THESE CONSTRUCTION DOCUMENTS.

A.1 A. DOCUMENT A-201:  
THE LATEST EDITION OF THE "GENERAL CONDITIONS OF THE CONTRACT FOR CONSTRUCTION", AIA DOCUMENT A-201, IS HEREBY MADE A PART OF THESE PLANS AND SPECIFICATIONS. COPIES ARE AVAILABLE FOR INSPECTION AT THE ARCHITECT'S OFFICE. THESE GENERAL NOTES AND SPECIFICATIONS SHALL NOT BE CONSTRUED TO VOID ANY PORTION OF AIA DOCUMENT A-201.

CONSTRUCTION DOCUMENTS:  
THESE BOUND PLANS AND SPECIFICATIONS FORM A COMPLETE SET OF CONSTRUCTION DOCUMENTS AND SHOULD NOT BE SEPARATED FOR USE BY VARIOUS SUB-TRADES EMPLOYED TO PROVIDE BID PROPOSALS. OR EXECUTE THIS PROJECT. A COMPLETE SET OF CONSTRUCTION DOCUMENTS IS REQUIRED SO THAT EACH TRADE CAN COORDINATE THEIR BIDS AND WORK WITH THE TOTAL PROJECT. CONSTRUCTION DOCUMENTS STAMPED "NOT FOR CONSTRUCTION" SHALL NOT BE USED FOR BIDDING OR CONSTRUCTION AND ARE NOT PERMITTED ON THE JOB SITE. DO NOT SCALE DRAWINGS. THE CONTRACTOR SHALL MAINTAIN A COMPLETE UP TO DATE SET OF CONSTRUCTION DOCUMENTS AND SHOP DRAWINGS ON THE JOB SITE AT ALL TIMES DURING THE CONSTRUCTION PERIOD. THESE DOCUMENTS SHALL BE SECURED AGAINST ALL FORMS OF DAMAGE OR THEFT.

CONSTRUCTION DOCUMENT REPRODUCTIONS:  
THESE PLANS ARE THE PROPERTY OF THE ARCHITECT. NO PORTION OF THESE CONSTRUCTION DOCUMENTS MAY BE REPRODUCED BY ANY MEANS OR METHODS WITHOUT THE EXPRESS PRIOR AUTHORIZATION OF SALTZ MICHELSON ARCHITECTS. COPIES OF THE PLANS AND SPECIFICATIONS ARE AVAILABLE FROM THE ARCHITECT. UNAUTHORIZED COPIES OF THESE PLANS MAY NOT PROVIDE CURRENT PROJECT INFORMATION AND MAY RESULT IN BID OR CONSTRUCTION DEFICIENCIES.

SITE VISIT:  
PRIOR TO BIDDING OR SUBMITTING ANY PROPOSAL THE GENERAL CONTRACTOR AND EACH SUBCONTRACTOR SHALL VISIT THE JOB SITE AND VERIFY ALL OF THE CONDITIONS UNDER WHICH THIS WORK WILL BE PERFORMED. THE CONTRACTOR SHALL EXAMINE THE PLANS AND IT WILL BE ASSUMED THAT THE CONTRACTOR HAS INVESTIGATED AND IS FULLY INFORMED AS TO THE CONDITIONS AND MATERIALS TO BE ENCOUNTERED AS TO CHARACTER, QUALITY AND QUANTITIES OF WORK TO BE PERFORMED AND MATERIALS TO BE FURNISHED AND AS TO THE REQUIREMENTS OF THE PLANS.

SUBSTITUTIONS:  
SUBSTITUTIONS OR DEVIATIONS FROM THE PLANS AND SPECIFICATIONS DURING BIDDING OR CONSTRUCTION ARE NOT PERMITTED WITHOUT PRIOR WRITTEN AUTHORIZATION FROM THE OWNER AND/OR ARCHITECT. FAILURE TO COMPLY WITH THIS PROVISION WILL RESULT IN THE REJECTION OF THE WORK IN QUESTION. THE CONTRACTOR WILL NOT BE COMPENSATED FOR UNAUTHORIZED SUBSTITUTIONS OR DEVIATIONS FROM THE PLANS AND WILL HAVE TO TAKE CORRECTIVE MEASURES AT HIS OWN EXPENSE.

ALTERNATES:  
REQUESTS FOR PRODUCT ALTERNATES OR SUBSTITUTIONS WILL ONLY BE CONSIDERED BY THE ARCHITECT WHEN SUBMITTED WITH A LETTER OF EXPLANATION. WHEN APPLICABLE THE REQUEST SHALL INCLUDE: A COST COMPARISON, AVAILABILITY, TIME SCHEDULE COMPARISON, DRAWINGS AND/OR BROCHURE CUT SHEETS DEMONSTRATING THAT THE SUBSTITUTION OR ALTERNATE MEETS THE INTENDED PERFORMANCE AND QUALITY OF THE ORIGINAL SPECIFICATION.

CHANGE ORDERS:  
ALL CHANGE ORDERS SHALL BE SIGNED BY THE OWNER PRIOR TO COMMENCEMENT OF THE WORK TO BE CHANGED.

REQUEST FOR PAYMENT:  
THE CONTRACTOR'S "REQUEST FOR PAYMENT" SHALL INCLUDE RELEASES OF LIEN FROM ALL MATERIAL SUPPLIERS AND SUBCONTRACTORS FOR SUPPLIES AND WORK RELATING TO THE REQUEST FOR PAYMENT.

NOTICE OF COMMENCEMENT:  
THE CONTRACTOR SHALL ASSIST THE OWNER IN THE PREPARATION AND FILING OF A NOTICE OF COMMENCEMENT. HE SHALL INSURE THAT SAID NOTICE IS PROMINENTLY POSTED ON THE PROPERTY AND PROTECTED FROM ALL FORMS OF DAMAGE. ALL SUBCONTRACTORS AND MATERIAL SUPPLIERS SHALL BE MADE AWARE OF THE POSTING OF THIS DOCUMENT AND ARE REQUIRED TO SUBMIT A "NOTICE TO OWNER" BY CERTIFIED MAIL.

HIDDEN CONDITIONS:  
EXISTING UNOBSERVABLE COVERED, BURIED OR OTHERWISE HIDDEN CONDITIONS WHERE IN CONFLICT WITH THE CONSTRUCTION DOCUMENTS SHALL BE REPORTED TO THE ARCHITECT AS SOON AS THEY ARE UNCOVERED. ADDITIONAL COSTS OR MODIFICATIONS OF THE WORK TO ACCOMMODATE THESE CONDITIONS SHALL BE APPROVED BY THE OWNER AND/OR ARCHITECT PRIOR TO PERFORMANCE OF THIS WORK. WHEN HIDDEN CONDITIONS ARE FOUND TO BE IN VIOLATION OF ANY GOVERNING CODE IN FORCE AT THE TIME OF CONSTRUCTION THE CONTRACTOR SHALL NOTIFY THE ARCHITECT AND/OR OWNER. CORRECTION OF EXISTING HIDDEN CODE VIOLATIONS SHALL BE APPROVED AND PAID FOR BY THE OWNER.

DISCREPANCIES:  
THE CONTRACTOR SHALL FIELD CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS AND BE RESPONSIBLE FOR SAME. WHEN IN THE OPINION OF THE CONTRACTOR A DISCREPANCY EXISTS, HE SHALL PROMPTLY REPORT IT IN WRITING TO THE ARCHITECT PRIOR TO THE COMMENCEMENT OF THE WORK IN THE AREA OF QUESTION. NO ADDITIONAL PAYMENT SHALL BE MADE FOR THE CONTRACTOR'S FAILURE TO CORRECT CONFLICTING FIELD CONDITIONS.

SAFETY AND SECURITY:  
THE CONTRACTOR SHALL TAKE ALL PRECAUTIONS TO ENSURE THE SAFETY OF THE WORK FORCE AND PUBLIC EXPOSED TO THE CONSTRUCTION PERFORMED UNDER THIS CONTRACT. HE SHALL SECURE THE WORK SITE AGAINST UNAUTHORIZED ENTRY AND MAINTAIN ALL SAFETY AND SECURITY MEASURES THROUGH OUT THE DURATION OF THE WORK.

SAFEGUARDS:  
THE GENERAL CONTRACTOR SHALL PROVIDE GUARDRAILS, HANDRAILS, AND COVERS FOR ALL FLOOR, ROOF AND WALL OPENINGS. HE SHALL MAINTAIN AND RELOCATE ALL SAFEGUARDS AND PROTECTIVE FACILITIES AS REQUIRED BY SUBCONTRACTORS OR JOB.

CONSTRUCTION MEANS AND METHODS:  
SALTZ MICHELSON ARCHITECTS AND/OR ENGINEER(S) SHALL NOT HAVE CHARGE, CONTROL OR BE RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, SEQUENCES, PROCEDURES OR FOR SAFETY PRECAUTIONS AND PROGRAMS. IT IS UNDERSTOOD AND AGREED THAT THE ARCHITECT HAS NO CONSTRUCTIVE USE OF THE OWNERS' SITE; HAS NO CONTROL OR AUTHORITY OVER THE MEANS, METHODS, AND SEQUENCES OF CONSTRUCTION; AND THEREFORE HAS NO ONGOING RESPONSIBILITY WHATSOEVER FOR CONSTRUCTION SITE SAFETY, A RESPONSIBILITY THAT HAS BEEN WHOLLY VESTED IN THE GENERAL CONTRACTOR.

OVERHEAD (GARAGE) DOOR:  
A. FURNISH AND INSTALL MANUAL OVERHEAD DOOR EQUAL TO "OVERHEAD DOOR" MODEL 426 INSULATED SECTIONAL 24 GAUGE STEEL DOOR WITH POLYETHYLENE INSULATION P-285  
B. FURNISH WITH 5-PIN TUMBLER KEYPED LOCK ON EXTERIOR, JAMB WEATHERSEALS  
C. PROVIDE AND INSTALL "LEFT TRACK"  
D. INSTALL IN ACCORDANCE WITH MANUFACTURER'S WRITTEN INSTRUCTION AND PRODUCT APPROVAL DOCUMENTS, STATE OF FLORIDA OR MIAMI-DADE N.O.A  
E. DOOR READ TO BE FIELD PAINTED.

NOTWITHSTANDING THE ABOVE, THE ARCHITECT HAS A DUTY TO PRESERVE AND PROTECT PUBLIC HEALTH, SAFETY, AND WELFARE. ACCORDINGLY, IT IS SALTZ MICHELSON ARCHITECTS PROFESSIONAL RESPONSIBILITY TO TAKE WHAT HE BELIEVES ARE PRUDENT MEASURES SHOULD THE ARCHITECT ENCOUNTER SITUATIONS THAT HE BELIEVES CREATE A DANGER TO PUBLIC HEALTH, SAFETY, OR WELFARE. THE CLIENT/OWNER UNDERSTANDS THIS SITUATION AND AGREES TO DEFEND SALTZ MICHELSON ARCHITECTS AND HOLD THE ARCHITECT HARMLESS FROM CLAIMS ARISING FROM THE ARCHITECT'S EXERCISE OF PROFESSIONAL RESPONSIBILITY IN THIS REGARD.

LICENSES AND PERMITS:  
THE GENERAL CONTRACTOR AND ALL SUBCONTRACTORS SHALL SECURE THE REQUIRED CITY, COUNTY, STATE LICENSES OR PERMITS AND SPECIAL PERMITS, WHEN REQUIRED, PRIOR TO COMMENCING ANY WORK ON THIS PROJECT. PERMITS SHALL BE PROTECTED AND DISPLAYED IN ACCORDANCE WITH THE LOCAL GOVERNING AGENCY REQUIREMENTS.

PERMIT FEES:  
IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO PAY FOR ALL BUILDING PERMITS REQUIRED BY LOCAL CODE OR ORDINANCE.

PERMANENT UTILITY FEES:  
IMPACT FEES, WATER AND SEWER CONNECTION FEES AND DEPOSITS FOR PERMANENT UTILITY SERVICES SHALL BE PAID FOR BY THE OWNER. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT, AND/OR OWNER WHEN THESE FEES APPLY PRIOR TO THE START OF CONSTRUCTION.

TEMPORARY UTILITY FEES:  
FEES FOR TEMPORARY CONSTRUCTION RELATED USE OF UTILITY SERVICES SUCH AS WATER, ELECTRIC, TRASH DISPOSAL, PORTABLE TOILETS, JOB SITE PHONES AND OTHER SUCH SERVICES THAT ARE PRIMARILY UTILIZED BY THE CONTRACTOR IN PERFORMANCE OF THE WORK UNDER THIS CONTRACT SHALL BE INCLUDED IN THE COST OF THE JOB AND PAID BY THE CONTRACTOR.

INSURANCE:  
THE CONTRACTOR SHALL PROVIDE ALL REQUIRED INSURANCE FOR PROTECTION AGAINST PUBLIC LIABILITY AND PROPERTY DAMAGE FOR THE DURATION OF THE WORK. PROOF OF INSURANCE SHALL BE SUBMITTED TO THE OWNER PRIOR TO COMMENCEMENT OF WORK. THE CONTRACTOR AND HIS SUBCONTRACTORS ARE NOT TO COMMENCE WORK UNDER THIS CONTRACT UNTIL REQUIRED INSURANCE IS OBTAINED AND APPROVAL RECEIVED FROM THE OWNER.

INSURANCE TYPE	MINIMUM LIMITS OF LIABILITY
WORKMAN'S COMPENSATION	STATUTORY
CONTRACTOR'S PUBLIC LIABILITY:	
BODILY INJURY	\$100,000 EACH PERSON \$300,000 EACH ACCIDENT
PROPERTY DAMAGES	\$10,000 EACH ACCIDENT \$25,000 AGGREGATE
CONTRACTOR'S LIABILITY FOR SUBCONTRACTED WORK:	
BODILY INJURY	\$100,000 EACH PERSON \$300,000 EACH ACCIDENT
PROPERTY DAMAGES	\$10,000 EACH ACCIDENT \$25,000 AGGREGATE
AUTOMOBILE PUBLIC LIABILITY:	
BODILY INJURY	\$100,000 EACH PERSON \$300,000 EACH ACCIDENT
PROPERTY DAMAGES	\$10,000 EACH ACCIDENT

INDEMNITY:  
CONTRACTOR SHALL PROTECT, DEFEND, SAVE HARMLESS AND INDEMNIFY OWNER, ITS EMPLOYEES, AGENTS AND PUBLIC FROM CLAIMS, DEMANDS OR EXPENSE ON ACCOUNT OF INJURY TO PERSON OR DAMAGE TO PROPERTY, ALLEGED OR REAL, ARISING FROM ANYTHING DONE OR NOT DONE UNDER THIS AGREEMENT BY CONTRACTOR, SUBCONTRACTOR, OR ANYONE DIRECTLY EMPLOYED BY EITHER.

GUARANTEE:  
THE CONTRACTOR SHALL GUARANTEE ALL WORK UNDER THIS CONTRACT TO BE FREE FROM DEFECTS IN MATERIAL OR WORKMANSHIP FOR A PERIOD OF ONE YEAR FROM THE DATE OF FINAL ACCEPTANCE OR CERTIFICATE OF OCCUPANCY. HE SHALL REPLACE ANY WORK THAT FAILS TO CONFORM TO THE DRAWINGS OR DETAILS AS SHOWN IN THESE CONSTRUCTION DOCUMENTS. HE SHALL DELIVER TO THE OWNER ALL WRITTEN WARRANTIES OR GUARANTEES OFFERED BY THE MANUFACTURERS FOR ALL COMPONENTS, EQUIPMENT AND FIXTURES. COPIES OF INVOICES, BILLS OR PURCHASE ORDERS SHALL BE GIVEN TO THE OWNER WHEN REQUIRED TO ENFORCE GUARANTEES AND WARRANTIES. THESE PROVISIONS SHALL APPLY TO ALL VENDORS OR OTHERS WHO MAY BE EMPLOYED BY THE CONTRACTOR IN PRODUCING THIS WORK.

COORDINATION OF THE TRADES:  
THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE COORDINATION OF EVERY ASPECT OF THE WORK AS DESCRIBED IN THE CONTRACT FOR CONSTRUCTION INCLUDING ALL OF THE REQUIREMENTS OF THE "GENERAL CONDITIONS OF THE CONTRACT FOR CONSTRUCTION", AIA DOCUMENT A-201. HE SHALL VERIFY ALL DRAWINGS AND COORDINATE THE WORK OF ALL TRADES AT THE TIME THE WORK IS PERFORMED ON THIS STRUCTURE. NO ADDITIONAL PAYMENTS SHALL BE MADE FOR THE CONTRACTORS FAILURE TO COORDINATE THE WORK AND CORRECT CONFLICTING FIELD CONDITIONS. GENERAL CONTRACTOR SHALL DO ALL CUTTING AND PATCHING OF EXISTING CONCRETE SLABS, PARTITIONS, ETC., AS MAY BE REQUIRED FOR ALL TRADES TO ACCOMPLISH ALL WORK REQUIRED BY THESE CONTRACT DOCUMENTS. CONTRACTOR SHALL DO ALL PATCHING AND PROVIDE NEW FINISHES TO MATCH EXISTING SO AS TO MAKE THE "PATCHED AREA" INDISCERNIBLE TO THE EXISTING ADJACENT AREA. ALL EXISTING SURFACES SUCH AS WALLS, FLOORS, CEILINGS, BASES, ETC. THAT ARE AFFECTED BY THESE ALTERATIONS ARE TO HAVE NEW MATERIAL AND FINISH AS REQUIRED TO MATCH ALL ADJACENT EXISTING FINISHES.

DEMOLITION:  
TITLE TO MATERIALS, TITLE TO ALL MATERIAL AND EQUIPMENT TO BE DEMOLISHED AND REMOVED EXCEPTING ITEMS INDICATED TO BE TURNED OVER TO THE OWNER IS VESTED IN THE CONTRACTOR AT START OF PROJECT. REMOVE ALL SPECIFIC ITEMS INDICATED ON THESE DRAWINGS AND ALSO REMOVE ANY OTHER ITEMS OR CONSTRUCTION AS REQUIRED TO ACCOMPLISH ALL NEW WORK TO AREAS SHOWN. ALL REMOVED ITEMS SHALL BECOME THE PROPERTY OF THE CONTRACTOR WITH THE APPROVAL OF THE OWNER AND SHALL BE REMOVED FROM THE SITE. THE AMOUNT OF DUST RESULTING FROM DEMOLITION SHALL BE CONTROLLED TO PREVENT THE SPREAD OF DUST TO AVOID CREATION OF A NUISANCE IN THE SURROUNDING AREA. USE OF WATER WILL NOT BE PERMITTED WHEN IT WILL RESULT IN, OR CREATE, HAZARDOUS OR OBJECTIONABLE CONDITIONS SUCH AS FLOODING, LEAKING TO FLOOR BELOW AND POLLUTION.

MANUFACTURER'S INSTRUCTIONS:  
MANUFACTURER'S INSTRUCTIONS FOR INSTALLATION, APPLICATION, OR METHODS SHALL BE STRICTLY ADHERED TO AND BY REFERENCE ARE MADE A PART OF THESE PLANS AS IF FULLY WRITTEN HEREIN. FAILURE OF THE CONTRACTOR TO OBTAIN MANUFACTURER'S INSTRUCTIONS SHALL NOT RELIEVE HIM FROM PERFORMING ALL OF THE REQUIREMENTS OF THE WORK. CONTRACTOR SHALL CONFIRM ALL EQUIPMENT DIMENSIONS, ELECTRICAL REQUIREMENTS AND UTILITY CONNECTIONS PRIOR TO CONSTRUCTION WITH ACTUAL EQUIPMENTS MAKE AND MODEL.

WORKMANSHIP:  
ALL WORK SHALL BE PERFORMED IN A FIRST CLASS WORKMAN LIKE MANNER IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS, THE BUILDING CODES AND THE STATE ENERGY EFFICIENCY CODE. WORKMANSHIP QUALITY SHALL STRICTLY CONFORM TO THE INDUSTRY STANDARD AND APPLICABLE NATIONAL, STATE AND LOCAL CODES, ORDINANCES AND RULES.

ROLLING RESTROOM DOORS:  
A. FURNISH AND INSTALL MANUAL ROLLING DOORS EQUAL TO "OVERHEAD DOOR" MODEL 810 STEEL DOOR, 22-GAUGE CURTAIN WITH FLAT SLAT PROFILE P-285  
B. FURNISH COMPLETE WITH GUIDE RAILS FOR EXTERIOR SURFACE MOUNTING; 24 GAUGE HOOD, WEATHERSEALS, CYLINDER LOCK ON EXTERIOR SIDE AND ALL MISCELLANEOUS PARTS FOR A COMPLETE INSTALLATION.  
C. INSTALL IN ACCORDANCE WITH MANUFACTURER'S WRITTEN INSTRUCTIONS AND STATE OF FLORIDA PRODUCT APPROVAL DOCUMENTS.  
D. FACTORY FINISH WITH "POWDERGUARD ZINC FINISH" IN COLOR AS SELECTED FROM 197 POWDER COAT COLORS BY OWNER.

MATERIALS:  
UNLESS SPECIFIED OTHERWISE, ALL CONTRACTOR SUPPLIED MATERIALS, FIXTURES, FITTINGS OR COMPONENTS SHALL BE NEW AND DELIVERED TO THE JOB SITE IN THE MANUFACTURER'S ORIGINAL SEALED CARTONS OR PACKAGING.

SHOP DRAWINGS:  
THE CONTRACTOR SHALL OBTAIN ARCHITECT'S OR OWNER'S WRITTEN APPROVAL OF SHOP DRAWINGS PRIOR TO FABRICATION. SAMPLES SHALL BE SUBMITTED UPON REQUEST. WHERE INSTALLATIONS REQUIRING SHOP DRAWINGS HAVE BEEN MADE WITHOUT APPROVED DOCUMENTS THE OWNER AND/OR ARCHITECT MAY REJECT THE WORK. REPLACEMENT ADDITIONS OR MODIFICATIONS TO ALL SUCH WORK SHALL BE MADE AT THE CONTRACTOR'S EXPENSE. THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS FOR ALL PREFABRICATED ITEMS OF THE WORK.

ACTIVE SERVICES:  
EXISTING ACTIVE SERVICES: WATER, GAS, SEWER, ELECTRIC, ETC., WHEN ENCOUNTERED, SHALL BE PROTECTED AGAINST DAMAGE. DO NOT PREVENT OR DISTURB OPERATION OF ACTIVE SERVICES WHICH ARE TO REMAIN. IF ACTIVE SERVICES ARE ENCOUNTERED WHICH REQUIRE RELOCATION, MAKE REQUEST TO AUTHORITIES WITH JURISDICTION FOR DETERMINATION OF PROCEDURES. WHERE EXISTING SERVICES ARE TO BE ABANDONED, THEY SHALL BE TERMINATED ON CONFORMANCE WITH REQUIREMENTS OF THE LANDLORD, OWNER, SPECIFICATIONS, UTILITY COMPANIES AND/OR GOVERNING AGENCIES HAVING JURISDICTION.

DAMAGE:  
THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL AREAS, INCLUDING PUBLIC SPACES, IN AND AROUND THE SITE AGAINST DAMAGE DURING THE CONSTRUCTION PROCESS. DAMAGE TO ANY AREA SHALL BE REPAIRED TO THE SATISFACTION OF THE OWNER AND LANDLORD AT THE CONTRACTOR'S EXPENSE.

SANITATION FACILITIES:  
THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ADEQUATE TEMPORARY TOILET FACILITIES ON THE JOB SITE.

DRINKING WATER:  
THE GENERAL CONTRACTOR SHALL PROVIDE PORTABLE DRINKING WATER FOR THE USE OF ALL TRADESMEN. THE WATER SUPPLY SHALL BE FREE OF CHARGE, CONVENIENTLY LOCATED AND MAINTAINED THROUGHOUT THE DURATION OF THE WORK.

FIRE PROTECTION:  
THE CONTRACTOR SHALL PROVIDE GENERAL FIRE PROTECTION THROUGHOUT THE JOB FOR THE DURATION OF THE WORK. EACH SUBCONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING FIRE PROTECTION FOR THEIR OWN SPECIALTY.

OPERATING INSTRUCTIONS:  
THE OWNER SHALL BE FURNISHED WITH THE ORIGINAL OPERATING INSTRUCTIONS, REPAIR AND MAINTENANCE MANUALS AS SUPPLIED BY THE MANUFACTURER FOR ALL EQUIPMENT. INSTALLED UNDER THE CONTRACTOR'S SUPERVISION.

FINAL CLEANING:  
THE CONTRACTOR SHALL BE RESPONSIBLE FOR FINAL CONSTRUCTION CLEAN-UP INCLUDING THE REMOVAL OF ALL TEMPORARY CONSTRUCTION, SUPPORTS, LIGHTING, BARRIERS, BARRICADES, ETC. USING MANUFACTURERS RECOMMENDED CLEANING AGENTS THE CONTRACTOR SHALL CLEAN AND POLISH ALL GLASS SURFACES, FINISH HARDWARE, CERAMIC AND VINYL TILE FLOORING, MIRRORS, WOODWORK, BASEBOARDS AND WALL SURFACES. REMOVE ALL FINGERPRINTS, STAINS, MARKINGS, DUST, DIRT, PUTTY AND OVER PAINTING IN PREPARATION FOR USE AND OCCUPANCY.

SITE CLEAN-UP:  
GARBAGE RECEPTACLES SHALL BE ON SITE AT ALL TIMES. THE JOB SITE SHALL BE KEPT FREE OF ACCUMULATED TRASH AND WASTE MATERIALS WHICH SHALL BE REMOVED WEEKLY. "BROOM CLEANING" SHALL BE DONE ON AN AS NEEDED OR DAILY BASIS FOR THE DURATION OF CONSTRUCTION. THE CONTRACTOR SHALL CLEAN ALL AREAS OF THE WORK AFTER CONSTRUCTION IS COMPLETED. ALL TRASH, DEBRIS, IMPLEMENTS, AND SURPLUS MATERIALS SHALL BE REMOVED FROM THE JOB SITE AT THE CONTRACTOR'S EXPENSE. ALL WASTE SHALL BE LEGALLY DISPOSED OF AT PUBLIC OR PRIVATE DUMPING FACILITIES.

FINAL INSPECTION:  
THE OWNER AND CONTRACTOR SHALL PERFORM A FINAL "WALK THROUGH" INSPECTION OF THE WORK PRIOR TO THE OWNERS FINAL ACCEPTANCE. THE CONTRACTOR SHALL PREPARE AND SUBMIT A WRITTEN "PUNCH LIST" TO THE OWNER FROM ALL THE ITEMS OF THE WORK THAT REQUIRE ADJUSTMENT, CORRECTION OR REPLACEMENT. PUNCH LISTED EQUIPMENT, FEATURES OR FINISHES SHALL BE REPAIRED TO THE OWNER'S SATISFACTION WITHIN FIVE WORKING DAYS.

FINAL ACCEPTANCE:  
THE CONTRACTOR SHALL DEMONSTRATE TO THE OWNER THE USE AND VERIFY THE PROPER FUNCTION OF ALL OPERATING FEATURES INCORPORATED INTO THE PROJECT. THE OWNER SHALL REVIEW, VERIFY AND APPROVE THE COMPLETENESS OF ALL "PUNCH LIST" WORK.

CERTIFICATE OF OCCUPANCY:  
UPON FINAL ACCEPTANCE AND COMPLETION THE CONTRACTOR SHALL OBTAIN AND DELIVER TO THE OWNER OR OWNERS AGENT A "CERTIFICATE OF OCCUPANCY" OR "CERTIFICATE OF USE" FROM THE LOCAL GOVERNING AGENCY.

PERMANENT ELECTRIC SERVICE:  
IN THE EVENT A "CERTIFICATE OF OCCUPANCY" OR "CERTIFICATE OF COMPLETION" IS A PREREQUISITE TO OBTAINING AN ELECTRIC METER AND/OR PERMANENT ELECTRIC SERVICE THE CONTRACTOR SHALL HAVE THE LOCAL ELECTRIC UTILITY INSTALL ALL THE REQUIRED COMPONENTS TO PROVIDE THE ELECTRIC SERVICE SPECIFIED IN THE PLANS. THEREAFTER HE SHALL TEST AND DEMONSTRATE TO THE OWNER THE USE AND VERIFY THE PROPER FUNCTION OF ALL COMPONENTS AND OPERATING FEATURES OF THE ELECTRICAL SYSTEM.

TESTING:  
ALL REQUIRED TESTS SHALL BE PERFORMED BY AN APPROVED TESTING LABORATORY AT THE CONTRACTOR'S EXPENSE. TEST RESULTS SHALL BE SUBMITTED TO ARCHITECT, AND/OR ENGINEER.

TOILET PARTITIONS:  
A. FURNISH AND INSTALL TOILET PARTITIONS AND URINAL SCREENS EQUAL TO BOBRICK "DURALINE" COMPACT LAMINATE (SOLID PHENOLIC) PARTITIONS AND SCREENS SERIES 1082.67 FLOOR MOUNTED, OVERHEAD-BRACED WITH INSTITUTIONAL HARDWARE.  
B. STILES AND DOORS - 3/4" THICK; PANELS - 1/2" THICK.  
C. INSTITUTIONAL HARDWARE WITH STAINLESS STEEL HINGES, DOOR LATCH, DOOR KEEPERS, CLOTHES HOODS MOUNTING BRACKETS, AND DOOR HANDLES. FULL HEIGHT U-CHANNEL AND ANGLE BRACKETS  
D. DOOR HINGES - FULL HEIGHT 16-GAUGE HINGE  
E. URINAL SCREENS 1083 SERIES WITH FULL HEIGHT WALL BRACKET AND COLOR AS SELECTED BY OWNER  
F. INSTALL IN ACCORDANCE WITH MANUFACTURER'S WRITTEN INSTRUCTIONS.

DOOR HARDWARE:  
1. CONCESSION DOOR  
3 HINGES HAGER BB1199 4.5"x4.5", US32D, NRP  
1 LOCKSET EQUAL TO SCHLAGE GRADE 1, N094PD - 2-3/4", RHO US26D  
1 DEADBOLT EQUAL TO SCHLAGE GRADE 1  
1 CLOSER EQUAL TO LCN 4040XP ALUM  
1 ARMOR PLATE HAGER 1985, 24"x2" LDW US32D  
1 SET WEATHERSTRIPPING PEMKO OR EQUAL  
1 THRESHOLD PEMKO OR EQUAL ALUM  
2. ADA RESTROOM DOOR  
3 HINGES HAGER BB1199 4.5"x4.5", US32D, NRP  
1 LOCKSET EQUAL TO SCHLAGE GRADE 1, N091PD - 2-3/4", RHO US26D  
1 CLOSER EQUAL TO LCN 4040XP ALUM  
1 SET WEATHERSTRIPPING PEMKO OR EQUAL  
1 THRESHOLD PEMKO OR EQUAL ALUM  
3. STORAGE ROOM DOOR  
3 HINGES HAGER 1199 4.5" x 4.5" US26D  
1 LOCKSET EQUAL TO SCHLAGE GRADE 1 N050PD  
1 ARMOR PLATE 24" x 2" LDW - PEMKO OR EQUAL

THE FOLLOWING GUIDELINES SPECIFICATIONS ARE INTENDED FOR GENERAL INFORMATION AND SUPPLEMENT THE REQUIREMENTS SHOWN ON THE DRAWINGS. THESE SPECIFICATIONS ARE NOT A FULL COMPREHENSIVE CONSTRUCTION SPECIFICATIONS AND SHOULD NOT BE USED AS SUCH. THE GENERAL CONTRACTOR IS RESPONSIBLE TO PROVIDE ALL MATERIALS AND LABOR REQUIRED TO ACHIEVE THE INTENT OF THESE SPECIFICATIONS AND DRAWINGS.

SIGNAGE:  
A. CONTRACTOR SHALL FURNISH AND INSTALL ALL CODE REQUIRED SIGNAGE IN ACCORDANCE WITH SECTION 703 OF THE 2020 ACCESSIBILITY CODE AND THE 2009 NFPA 101 - LIFE SAFETY CODE. SIGNAGE SHALL BE CONSTRUCTED TO MATCH EXISTING STYLE, TYPE, AND COLORS.  
B. PROVIDE LETTER SIZES, BRAILLE, GRAPHICS, ETC. AS REQUIRED BY CODE. SIGNAGE SHALL INCLUDE, BUT IS NOT LIMITED TO:  
1. ADA RESTROOMS SIGNS.  
C. APPROVED SIGN COMPANIES INCLUDE BEST MANUFACTURING COMPANY, BARON SIGN MANUFACTURING, AND EGI SIGNS.  
D. SUBMIT SHOP DRAWINGS FOR APPROVAL.

EXTERIOR METAL DOOR AND FRAMES:  
1. PROVIDE DOOR FRAMES COMPLYING WITH STEEL DOOR INSTITUTE "RECOMMENDED SPECIFICATIONS: STANDARD STEEL DOORS AND FRAMES" (SDI-100) AND THE 2020 FLORIDA BUILDING CODE. ALL EXTERIOR DOORS SHALL BE PRODUCT APPROVED.  
2. SUBMIT MANUFACTURER'S TECHNICAL PRODUCT DATA AND N.O.A. BY A SINGLE SOURCE MANUFACTURER. INSTALLATION: ALL EXTERIOR DOORS, HARDWARE, AND ACCESSORIES TO BE INSTALLED PER THE N.O.A.

FINISH HARDWARE:  
A. MOUNT HARDWARE UNITS AT HEIGHTS INDICATED IN "RECOMMENDED LOCATIONS FOR BUILDERS HARDWARE FOR STANDARD STEEL DOORS AND FRAMES" BY THE DOOR AND HARDWARE INSTITUTE, EXCEPT AS SPECIFICALLY INDICATED OR REQUIRED TO COMPLY WITH GOVERNING REGULATIONS IN COMPLIANCE WITH THE DOORS PRODUCT APPROVAL.  
B. REQUIREMENTS FOR DESIGN, GRADE, FUNCTION, FINISH, SIZE AND OTHER DISTINCTIVE QUALITIES OF EACH TYPE OF FINISH HARDWARE IS INDICATED IN THE FINISH HARDWARE DATA SHEET AND HARDWARE SCHEDULE AT THE END OF THIS SECTION.  
C. WHERE THE DOOR MANUFACTURER SPECIFIED FOR THE EXTERIOR DOORS ARE CHANGED DUE TO THE CONTRACTORS SUBSTITUTION OR APPROVED ALTERNATE, THE CONTRACTOR WILL COORDINATE AND PROVIDE AS NECESSARY THE SPECIFIED HARDWARE SCHEDULE TO MEET BOTH THE NEW DOORS' PRODUCT APPROVAL AND OWNER'S REQUIREMENTS FOR EACH DOOR LOCATION. THE CHANGING OF HARDWARE TO MEET THE REQUIREMENTS MENTIONED WILL NOT CONSTITUTE AN EXTRA MONETARY CHARGE OR BURDEN TO THE OWNER OR PROJECT.  
D. HARDWARE SCHEDULE: AS SPECIFIED IN THE N.O.A. FOR EXTERIOR DOORS.  
E. KEYING SHALL BE AS REQUIRED BY THE OWNER.

PAINTING:  
A. PAINTING MATERIALS AND SYSTEM: PROVIDE THE MANUFACTURER'S BEST QUALITY COMMERCIAL GRADE PAINT MATERIAL FOR THE VARIOUS COATING SURFACES REQUIRED IN A THREE (3) COAT PAINTING SYSTEM (PRIME, 1ST COAT AND 2ND COAT).  
B. PREPARE ALL SURFACES TO BE PAINTED IN ACCORDANCE TO PAINTING MANUFACTURER'S WRITTEN INSTRUCTIONS FOR A COMPLETE SYSTEM APPLICATION REQUIREMENT. PATCH AND REPAIR ALL SURFACES AS REQUIRED TO PROVIDE A SMOOTH UNIFORM SUBSTRATE PRIOR TO PAINTING.  
C. MINIMUM COATING THICKNESS: APPLY MATERIAL AT NOT LESS THAN THE MANUFACTURER'S RECOMMENDED SPREAD RATE. PROVIDE A TOTAL DRY FILM THICKNESS OF THE ENTIRE SYSTEM AS RECOMMENDED BY THE MANUFACTURER.  
D. ACCEPTABLE MANUFACTURERS:  
1. SHERWIN WILLIAMS - BASIS OF DESIGN  
2. ICI PAINTS  
3. BENJAMIN MOORE  
E. PAINT SCHEDULE:  
1. GENERAL: PROVIDE THE FOLLOWING PAINT SYSTEMS FOR THE VARIOUS SUBSTRATES INDICATED.  
a. INTERIOR GYPSUM BOARD AND/OR STUCCO (EPOXY FINISH): AT ALL TOILET ROOM WALLS AND CEILINGS.  
1. PRIMER: PREP RITE CLASSIC PRIMER B28 WIDD 1.4 MIL. B70860V15 SEMI GLOSS 3.0 MIL.  
2. FIRST COAT: WATER BASED CATALYZED EPOXY B70860V15 SEMI GLOSS 3.0 MIL.  
3. SECOND COAT: WATER BASED CATALYZED EPOXY  
b. MASONRY, CONCRETE, OR STUCCO: PRIMER: LIXON EXTERIOR MASONRY ACRYLIC PRIMER A-24 SERIES, 3.1 MILS. FIRST COAT: A-100 EXTERIOR LATEX FLAT A6 SERIES, 1.3 MILS.  
SECOND COAT: A-100 EXTERIOR LATEX FLAT A6 SERIES, 1.3 MILS.  
c. EXTERIOR METAL: PRIMER: KROMIK METAL PRIMER B41N1, 4.0 MILS. FIRST COAT: SILICONE ALKYD ENAMEL B56 SERIES, 3.0 MILS. SECOND COAT: SILICONE ALKYD ENAMEL B56 SERIES, 3.0 MILS.

JOINT SEALANTS:  
1. PROVIDE EXTERIOR AND INTERIOR JOINT SEALANTS AT ALL VERTICAL SURFACES AND NON-TRAFFIC HORIZONTAL SURFACES.  
2. PROVIDE JOINT SEALERS THAT HAVE BEEN PRODUCED AND INSTALLED TO ESTABLISH AND MAINTAIN WATERTIGHT AND AIRTIGHT CONTINUOUS SEALS.  
3. SUBMIT PRODUCT DATA AND COLOR SAMPLES FOR INITIAL SELECTION PURPOSES.  
4. PROVIDE SINGLE SOURCE RESPONSIBILITY FOR JOINT SEALER MATERIAL FROM DOW CORNING CORPORATION OR EQUAL.  
5. EXTERIOR APPLICATIONS ONE PART NONACID - CURING SILICONE SEALANT. CAULK ALL VOIDS WHERE REQUIRED FOR WATER TIGHTNESS, FORMULATED TO BE PAINTABLE.  
6. INTERIOR APPLICATIONS: ACRYLIC-EMULSION SEALANT. ONE PART NON-SAG, MILDEW RESISTANT, FORMULATED TO BE PAINTABLE.

TOILET BATH AND ACCESSORIES:  
1. PROVIDE TOILET AND BATHROOM ACCESSORIES AS INDICATED ON THE DRAWINGS.  
2. PARTICULAR ATTENTION SHOULD BE GIVEN TO THE TOILET ACCESSORIES FOR HC ACCESSIBILITY TO INCLUDE BUT NOT LIMITED TO MIRRORS, UNDERSINK PIPING PROTECTION, GRAB BARS, TOILET PAPER DISPENSERS, SOAP DISPENSERS, PAPER TOWEL DISPENSERS, AND REFUSE CONTAINERS.  
3. MANUFACTURER OF TOILET ACCESSORIES SHALL BE BOBRICK OR APPROVED EQUAL.  
4. ACCESSORIES SHALL BE VANDAL RESISTANT OR AS SELECTED BY THE OWNER. SUBMIT SHOP DRAWINGS FOR THE OWNER'S AND ARCHITECT'S APPROVAL PRIOR TO ORDERING.

EPOXY FLOORING:  
GENERAL  
1. EPOXY RESIN FLOORING AND BASE SHALL BE FLUID APPLIED SEAMLESS FLOORING WITH JOINT EDGE, AND TERMINATION STRIPS AS REQUIRED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS. PREPARE EXISTING CONCRETE SURFACES TO RECEIVE NEW EPOXY FLOORING. SURFACES SHALL BE FREE OF ALL DEBRIS, DIRT, OIL CONTAMINANTS, AND SURFACE COATING AFFECTING BOND.  
2. SYSTEM DESCRIPTION: 18-20 MIL EPOXY COATING SYSTEM WITH SELF-LEVELING FILLER AGGREGATE TO FORM A LIGHTLY TEXTURED SURFACE. FINISH SHALL BE A TWO COMPONENT 100% SOLIDS EPOXY. PROVIDE SEALER AS RECOMMENDED BY THE MANUFACTURER.  
3. COLOR TO BE SELECTED BY THE OWNER AND ARCHITECT. SUBMIT SAMPLES FOR SELECTION AND APPROVAL.  
4. APPROVED MANUFACTURERS INCLUDE SIKA, KEY RESIN CO., AND DURA-FLEX.



SPECIFIC WORK NOTES	
1. PRESSURE CLEAN EXTERIOR WALLS AS REQUIRED PRIOR TO PAINTING. PAINT EXTERIOR WALLS WITH PRIMER AND MINIMUM 2-COATS OF PAINT PREP AND PAINT FASCIA AS REQUIRED. 2. CAULK PERIMETER OF NEW NOA DOORS, LOUVERS, AND WINDOWS. 4. PAINT NEW NOA APPROVED H.M. DOOR AND FRAME. 5. VERIFY ALL COLORS WITH OWNER.	
NOTE: SUBMIT SAMPLES OF ALL PROPOSED COLORS AND FINISHES TO THE OWNER FOR APPROVAL PRIOR TO ORDERING.	
GENERAL FINISH NOTES	
1. PAINT ALL EXTERIOR WALLS, ROOF FASCIA, SOFFITS, ETC. 2. ALL DOORS, FRAMES, LOUVERS, AND HOODS TO BE PAINTED. 3. BEFORE FINISH MATERIALS ARE PURCHASED, SUBMIT SAMPLES FOR APPROVAL TO OWNER. 4. FINISHES SHALL MEET THE REQUIREMENT OF NFPA 101-19.3.3. 5. PATCH AND REPAIR AND PRESSURE CLEAN EXISTING SIDEWALK IN FRONT OF RESTROOMS. 6. PROVIDE SAMPLES OF ALL PLUMBING FIXTURES AND ACCESSORIES FOR APPROVAL PRIOR TO PURCHASE.	
DEMO KEY NOTES	
1 REMOVE EXISTING WATER CLOSET - PREP FOR NEW WATER CLOSET 2 REMOVE EXISTING URINAL - PREP FOR NEW URINAL 3 REMOVE EXISTING LAV - PREP FOR NEW LAV 4 REMOVE EXISTING TOILET PARTITIONS - PREP FOR NEW TOILET PARTITIONS 5 REMOVE EXISTING LOUVER BLOCK AND REPLACE WITH NEW ALUMINUM LOUVER 6 REMOVE EXISTING ROLLING DOORS - PREP FOR NEW 7 REMOVE EXISTING HOLLOW METAL DOORS - PREP FOR NEW 8 REMOVE EXISTING OVERHEAD DOOR & TRACK - PREP FOR NEW OVERHEAD DOOR & TRACK 9 REMOVE EXISTING WINDOW - PREP FOR NEW 10 REMOVE EXISTING ROLLING DOOR OVER WINDOW - PREP FOR NEW 11 REMOVE EXISTING WOOD CABINETS. PREP FOR NEW 12 REMOVE EXISTING SINKS - PREP FOR NEW 13 REMOVE EXISTING TOILET ACCESSORIES THROUGHOUT AND PREP FOR NEW ACCESSORIES.	

DOOR SCHEDULE												
DOOR NO.	DOOR DIMENSIONS			MATERIALS		HARDWARE SET	FRAME			DETAILS		COMMENTS
	WIDTH	HEIGHT	THICKNESS	MATERIAL	FINISH		MATERIAL	FINISH	HEAD	JAMB	THRESHOLD	
1	3'-6"	7'-0"	1 3/4"	H.M.	PAINT	1	H.M.	PAINT				OVERHEAD DOOR - GARAGE TYPE
2	10'-0"	8'-0"		STEEL	PAINT							
3	3'-0"	7'-0"	1 3/4"	H.M.	PAINT	2	H.M.	PAINT				COILING STEEL
4	3'-4"	8'-0"		STEEL	PAINT							
5	3'-4"	8'-0"		STEEL	PAINT	3	H.M.	PAINT				COILING STEEL
6	2'-8"	6'-8"	1 3/4"	H.M.	PAINT							
7	8'-0"	4'-0"		STEEL	PAINT							

NOTE: VERIFY ALL DOOR DIMENSIONS IN FIELD. ROLLING AND OVERHEAD DOOR TO HAVE KEYED LOCKS MATCH OWNER'S CORE SYSTEM.

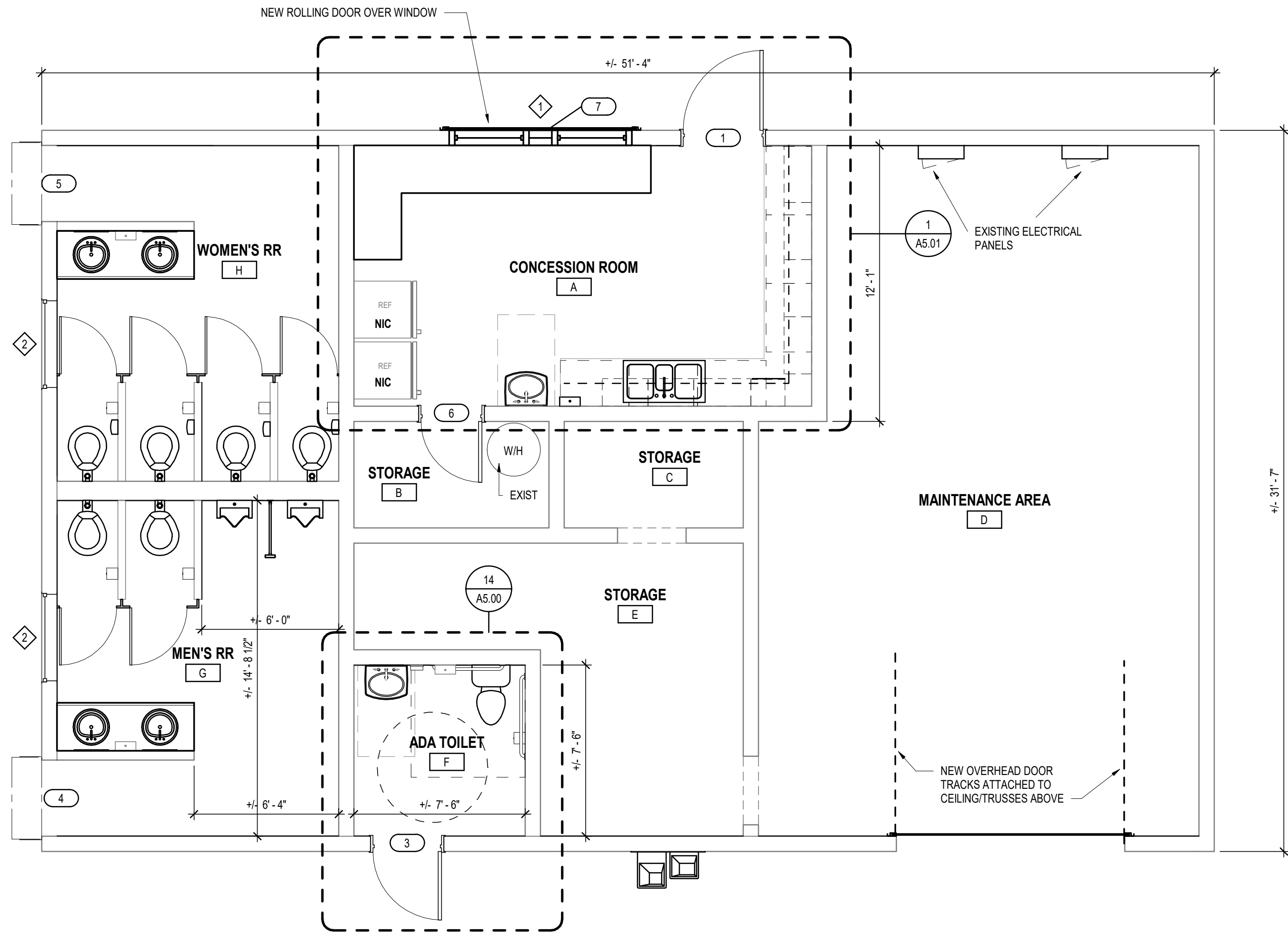
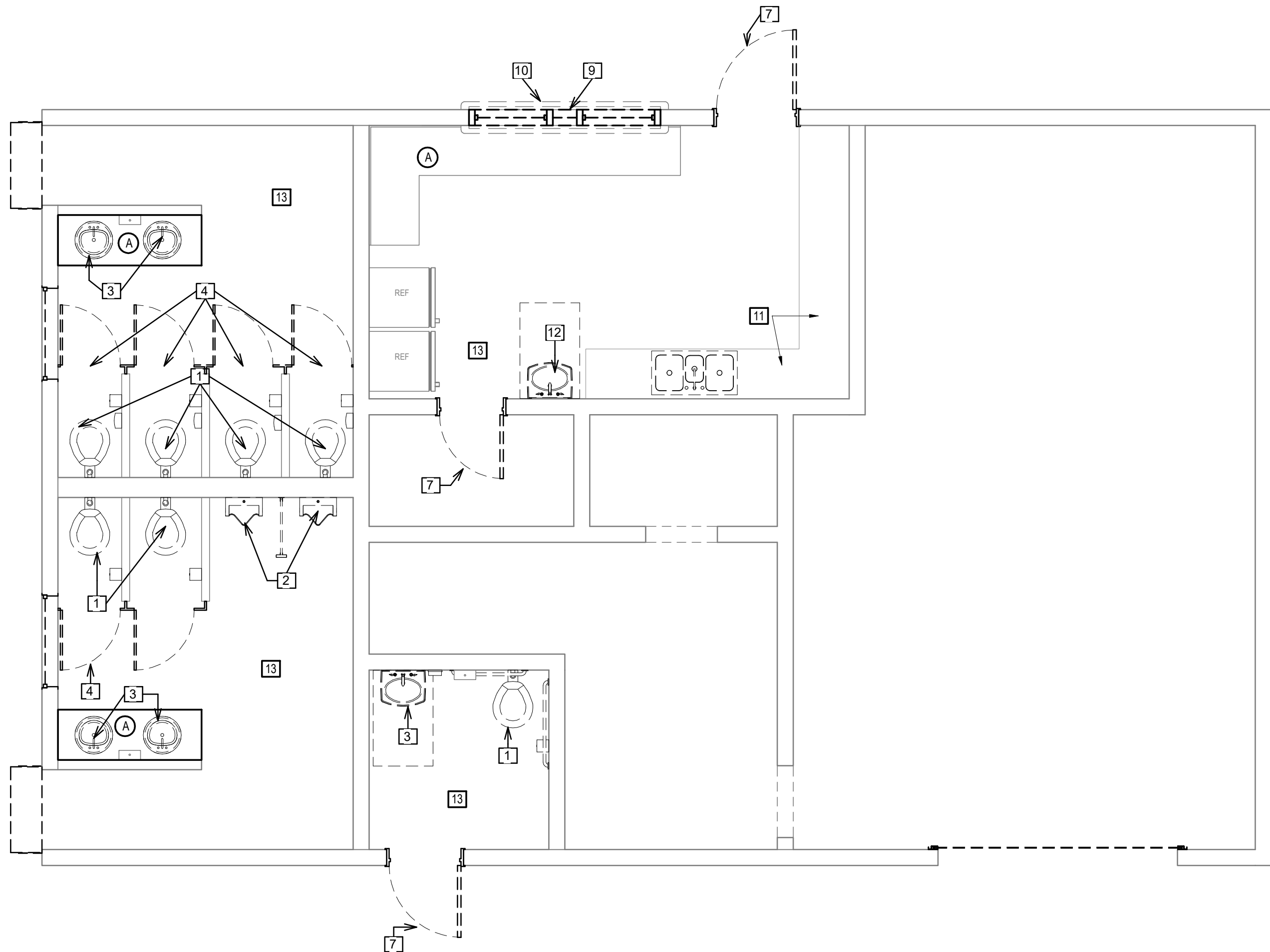
FLOOR PLAN LEGEND & SHEET NOTES	
PARTITION LEGEND	
EXISTING CMU WALL	
GENERAL SHEET NOTES	
A. EXISTING CONCRETE COUNTERS: AT THE EXISTING CONCRETE COUNTERS IN THE WOMEN AND MEN'S RESTROOMS, AND IN THE CONCESSION, CONTRACTOR SHALL CLEAN THE CONCRETE SURFACES, REMOVE AS MUCH EXISTING PAINT AS POSSIBLE, GRIND SMOOTH AND APPLY NEW HIGH GLOSS EPOXY PAINT, INCLUDING THE SUPPORTS. B. REPLACE ALL TOILET ACCESSORIES	

ROOM FINISH SCHEDULE							
ROOM NO.	ROOM NAME	FLOOR FINISH	BASE FINISH	Wall Finish	CEILING FINISH	CEILING HGT.	REMARKS
A	CONCESSION ROOM	EPOXY	6" EPOXY	EPOXY	PLYWOOD PAINTED	9'-0"	
B	STORAGE	EPOXY	6" EPOXY	EPOXY	PLYWOOD PAINTED	9'-0"	
C	STORAGE	EPOXY	6" EPOXY	EPOXY	PLYWOOD PAINTED	9'-0"	
D	MAINTENANCE AREA	EPOXY	6" EPOXY	EPOXY	PLYWOOD PAINTED	9'-0"	
E	STORAGE	EPOXY	6" EPOXY	EPOXY	PLYWOOD PAINTED	9'-0"	
F	ADA TOILET	EPOXY	6" EPOXY	EPOXY	PLYWOOD PAINTED	9'-0"	
G	MEN'S RR	EPOXY	6" EPOXY	EPOXY	PLYWOOD PAINTED	9'-0"	
H	WOMEN'S RR	EPOXY	6" EPOXY	EPOXY	PLYWOOD PAINTED	9'-0"	

LOUVER / WINDOW TYPES	
1	(2) SINGULAR HUNG WINDOWS 36" x 48" WITH FIXED PANEL 12" WIDE BETWEEN THE 2 UNITS. VERIFY DIMENSIONS IN FIELD. SEE 2/A5.1 FOR ELEVATION.
2	48" W x 32" H - VERIFY ALUMINUM FIXED BLADE LOUVER WITH INSECT SCREEN ON INTERIOR SIDE. FINISH - KYNAIR 500 FACTORY PAINTED.

## DEMOLITION GENERAL NOTES

- CONTRACTOR SHALL ADHERE TO ALL OSHA RULES AND REGULATIONS AND SHALL PROVIDE ITS EMPLOYEES WITH ALL SAFETY PROVISIONS SUCH AS SAFETY EQUIPMENT, FIRST AID KITS, DRINKING WATER AND/OR ICE NEEDED TO PERFORM THIS SCOPE OF WORK IN A SAFE MATTER.
- THE CONTRACTOR IS REQUIRED TO VISIT THE JOB SITE TO DETERMINE THE EXTENT OF WORK INVOLVED WITH THE CHANGES SHOWN AND FOR DETERMINING THE WORK THAT NEEDS TO BE ACCOMPLISHED AS PART OF HIS/HER BID. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS AND ALLOW FOR ANY CHANGES THAT MAY BE MADE DURING THE COMPLETION OF THE JOB. CONTRACTOR SHALL BE AWARE THAT NOT ALL EXISTING DEVICES HAVE BEEN INDICATED ON THE DRAWINGS AND THAT SOME EXISTING ELECTRICAL DEVICES MAY NOT HAVE BEEN SHOWN IN THEIR ACTUAL LOCATION. CONTRACTOR SHALL INFORM ARCHITECT/ENGINEER IMMEDIATELY OF ANY DISCREPANCIES BETWEEN ACTUAL EXISTING CONDITIONS AND INFORMATION INDICATED AS "EXISTING" ON PLANS WHICH WILL IMPEDE THE COMPLETION OF THIS JOB PRIOR TO BEGINNING OF WORK.
- THE CONTRACTOR IS RESPONSIBLE FOR THE COORDINATION OF ALL ASPECTS OF THE DEMOLITION PROCESS AND WILL TAKE PRECAUTIONS AGAINST DAMAGE TO THE SURROUNDING SURFACES AND SYSTEMS. EXISTING WORK TO REMAIN SHALL BE PROTECTED FROM DAMAGE. WORK DAMAGED BY THE CONTRACTOR, NOT INDICATED TO BE REMOVED, SHALL BE REPAIRED, RESTORED AND/OR REPLACED TO EQUAL OR BETTER CONDITION THAN EXISTING PRIOR TO DAMAGE. WHERE DAMAGE IS IRREPARABLE, NEW ITEMS OR EQUIPMENT SHALL BE PROVIDED.
- PROTECT WALLS SCHEDULED TO REMAIN. PROVIDE NEW FINISHES AS REQUIRED TO WALLS THAT HAVE BEEN DAMAGED BY THE WORK. MATCH EXISTING MATERIALS AS REQ'D.
- G.C. SHALL DETERMINE AND COORDINATE EXTENT OF DEMOLITION WORK AND PRESERVE ANY ELECTRICAL, MECHANICAL, AND PLUMBING EQUIPMENT (IF ANY) THAT WILL REMAIN IN THE WORK AREA, U.N.O.
- THE CONTRACTOR SHALL OBTAIN ALL PERMITS REQUIRED FOR HAULING AND LEGALLY DISPOSING OF MATERIALS REMOVED IN DEMOLITION WORK.
- ALL REMOVED ITEMS ARE TO BE PROPERLY DISPOSED. CONTRACTOR SHALL COORDINATE DISPOSAL OF SOLID MATERIALS WITH BUILDING OWNER/REPRESENTATIVE. NO STORAGE SHALL BE ALLOWED DURING DEMOLITION, UNLESS AUTHORIZED BY OWNER.
- COORDINATE WITH OWNER ANY AND ALL ITEMS TO BE SALVAGED. CONTRACTOR SHALL VERIFY PRIOR TO DEMOLITION.
- CONTRACTOR SHALL PERFORM DAILY CLEANUP AND REMOVAL OF ALL DEBRIS GENERATED BY THIS SCOPE OF WORK. DEMOLITION SUBCONTRACTOR TO PROVIDE DUMPSTER FOR OWN WORK AND TRASH REMOVAL FROM SITE.
- THE PROCEDURES PROPOSED FOR THE ACCOMPLISHMENT OF SALVAGE AND DEMOLITION WORK SHALL BE SUBMITTED FOR REVIEW. THE PROCEDURES SHALL PROVIDE FOR SAFE CONDUCT OF THE WORK, CAREFUL REMOVAL AND DISPOSITION OF MATERIALS, PROTECTION OF PROPERTY, COORDINATION WITH WORK OF OTHERS IN PROGRESS, AND TIMELY DISCONNECTION OF UTILITY SERVICES. THE PROCEDURES SHALL INCLUDE A DETAILED DESCRIPTION OF METHODS AND EQUIPMENT TO BE USED FOR EACH OPERATION AND THE SEQUENCE OF OPERATION.
- ALL SUBCONTRACTORS SHALL COMPLY WITH ALL LOCAL JURISDICTIONAL REQUIREMENTS FOR WORKING HOURS AND NOISE ORDINANCE.
- THE WORK SHALL INCLUDE THE FURNISHING OF ALL MATERIALS, CUTTING, EXTENDING, CONNECTING, REPAIRING, ADAPTING, AND OTHER WORK COINCIDENTAL HERETO, TOGETHER WITH SUCH TEMPORARY INSTALLATIONS AS MAY BE NECESSARY TO SATISFY THE DEMOLITION PROGRAM. APPROVAL SHALL BE SECURED FROM THE LANDLORD/ARCHITECT PRIOR TO CUTTING/DRILLING ANY STRUCTURAL SUPPORT.
- THE CONTRACTOR IS RESPONSIBLE FOR SHORING AND BRACING DURING DEMOLITION. BEARING WALLS AND COLUMNS TO BE REMOVED SHALL NOT BE REMOVED UNTIL ADEQUATE SHORING AND/OR NEW STRUCTURE IS IN PLACE AND VERIFIED BY THE ARCHITECT AND/OR ENGINEER.
- WHERE EXISTING WALLS, CEILINGS, AND FIXTURES HAVE BEEN REMOVED, AREAS SHALL BE PATCHED TO MATCH EXISTING FINISHES, OR FINISHES TO BE ADDED AS PER DRAWINGS, OR AS PER OWNER REPRESENTATIVE.
- ALL DIMENSIONS SHOWN ARE TO BE VERIFIED IN THE FIELD. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT BEFORE PROCEEDING WITH THE WORK.
- ACTUAL LOCATIONS OF EXISTING UTILITIES AND MAIN BUILDING SERVICES (i.e., ELECTRICAL FEEDS, MAIN PLUMBING LINES, FIRE SPRINKLER LINE, ETC.) TO BE DETERMINED IN THE FIELD PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL CONTACT ALL UTILITY COMPANIES PRIOR TO CONSTRUCTION AS REQUIRED. ALL EXISTING UTILITIES AND MAIN BUILDING SERVICES SHALL BE PROTECTED. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE INCURRED DURING THE CONSTRUCTION AND SHALL REPAIR SAID DAMAGES AT HIS EXPENSE.
- WHERE DEMOLITION WORK REQUIRES TEMPORARY INTERRUPTION OF ELECTRICAL, TELEPHONE, TV, ALARM OR COMMUNICATION SERVICES, RESPECTIVE UTILITIES AND/OR COMPANY REPRESENTATIVES SHALL BE NOTIFIED AS NECESSARY, AND ALL WORK DONE SHALL BE UNDER SUPERVISION AND THEIR ESTABLISHED STANDARDS.
- PROTECTION: PROVIDE TEMPORARY BARRICADES AND OTHER FORMS OF PROTECTION AS REQUIRED TO PROTECT GENERAL PUBLIC FROM INJURY DUE TO SELECTIVE DEMOLITION WORK. PROVIDE PROTECTIVE MEASURES AS REQUIRED TO PROVIDE FREE AND SAFE PASSAGE OF OWNER'S PERSONAL AND GENERAL PUBLIC TO AND FROM OCCUPIED PORTIONS OF THE PARK.
- DO NOT DISTURB THE INTEGRITY OF THE EXISTING STRUCTURAL SYSTEMS. CONFIRM LOCATION OF EXISTING STRUCTURAL SUPPORTS AND MEMBERS PRIOR TO CORE DRILLING AND/OR CUTTING OPENINGS. NOTIFY ARCHITECT IMMEDIATELY OF ANY CONFLICTS.
- COORDINATE ALL PHASES OF THE WORK WITH THE OWNER PRIOR TO PROCEEDING.
- IF NECESSARY, EXISTING WALLS MAY NEED TO BE REMOVED TO RECEIVE NEW EQUIPMENT THAT WILL NOT FIT THROUGH DOORS. CONTRACTOR TO PATCH AND REPAIR AFFECTED WALLS TO MATCH ORIGINAL MATERIALS AND FIRE RATING AND INSTALL NEW FINISHES AS SCHEDULED AND JOR TO MATCH EXISTING.
- PRIOR TO COMMENCING ANY PHASE OF THE DEMOLITION WORK, THE ELECTRICAL MAINS AFFECTING THE DEMOLITION PORTION OF THE BUILDING SHALL BE DISCONNECTED AND DE-ENERGIZED. IF TEMPORARY SHUT DOWN OF POWER IS NEEDED, G.C. SHALL COORDINATE WITH A/E AND OWNER PRIOR TO DE-ENERGIZING WORK AREA POWER SUPPLY.
- ELECTRICAL DEMOLITION SCOPE SHALL CONSIST OF BUT NOT BE LIMITED TO THE REMOVAL OF BRANCH CIRCUITS, ELECTRICAL RECEPTACLES, LIGHTING CIRCUITS, JUNCTION BOXES AND CONDUITS. G.C. SHALL COORDINATE THE EXTENT OF REMOVAL WITHIN THE WORK AREA. PROVIDE CARE NOT TO DAMAGE EXISTING ELECTRICAL MAIN AND OTHER EQUIPMENT TO REMAIN IN THE EXISTING ELECTRICAL ROOM(S).
- WHEN REMOVING ELECTRICAL DEVICES THAT ARE INSTALLED IN PARTITIONS OR CEILINGS, THE ELECTRICAL CONTRACTOR SHALL DISCONNECT THEM UP THE THE NEXT OUTLET TO REMAIN OR BACK TO THE PANEL BOARD. IF EXISTING TO REMAIN OUTLETS ARE USED THROUGH DEMOLISHED PARTITIONS OR CEILINGS, THE CIRCUIT SHALL BE REARRANGED TO MAINTAIN CIRCUIT CONTINUITY. WIRES SHALL BE REMOVED FROM INACCESSIBLE REACEWAYS BACK TO SOURCE AND SHALL NOT BE RE-USED.
- CONDUITS RUNNING IN SLAB, IF ANY, AT FINISHED AREAS WITHIN SCOPE OF WORK SHALL BE CUT FLUSH, PLUGGED AND ABANDONED AFTER CONDUCTORS ARE REMOVED. NO WIRING SHALL BE LEFT ABANDONED AFTER WORK IS COMPLETED.



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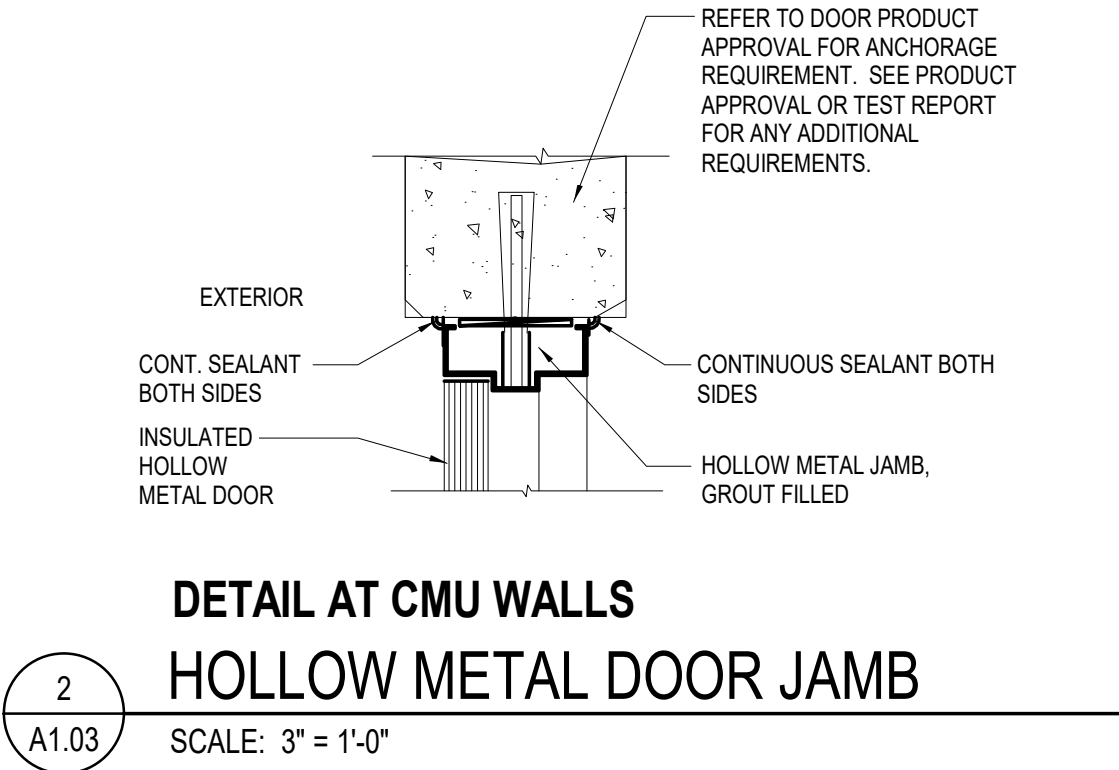
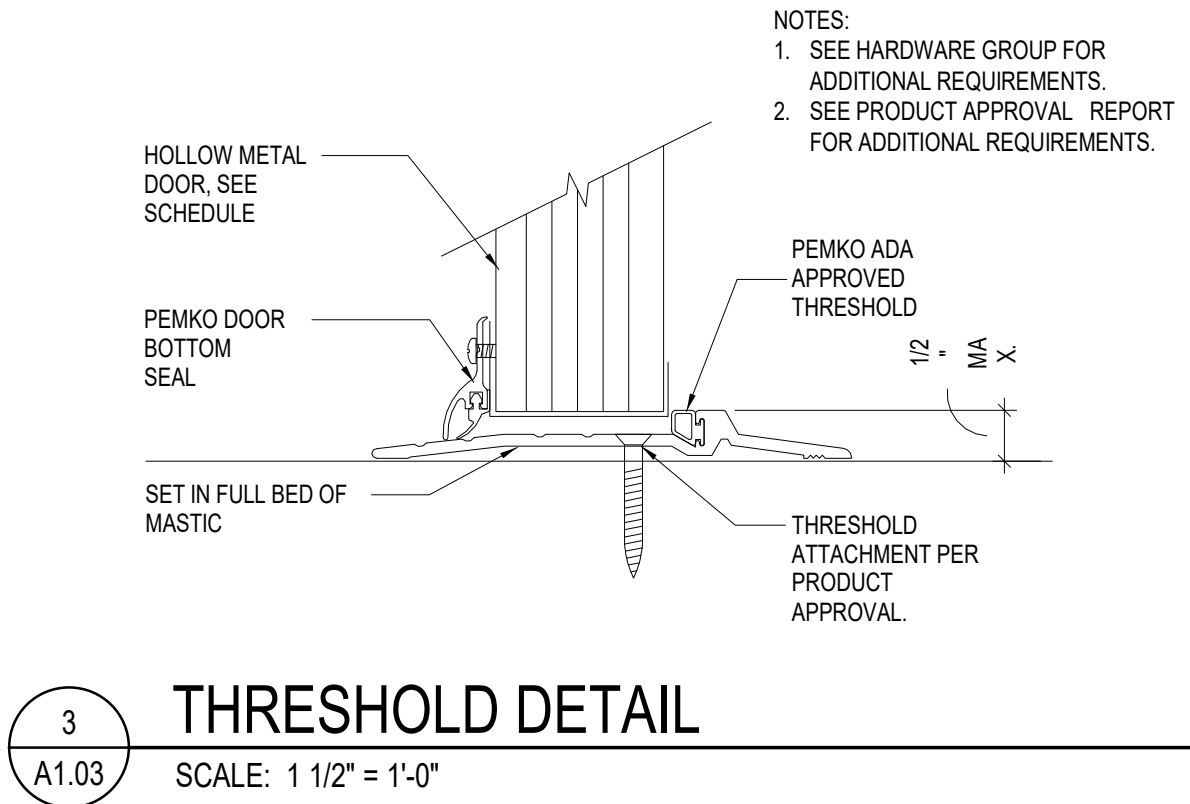
REVISIONS

OVERALL DEMO & FLOOR  
PLAN, DOOR SCHEDULE

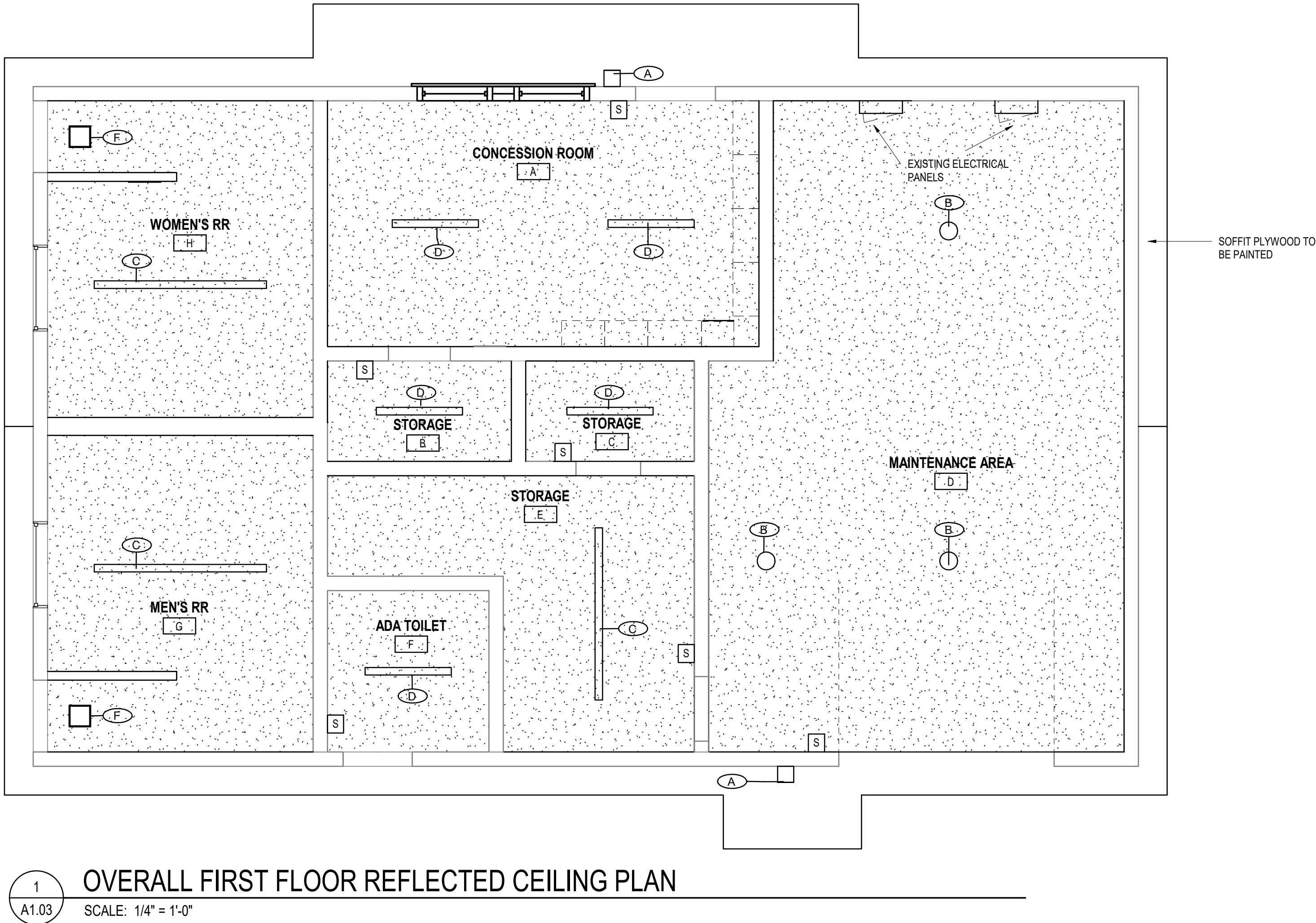
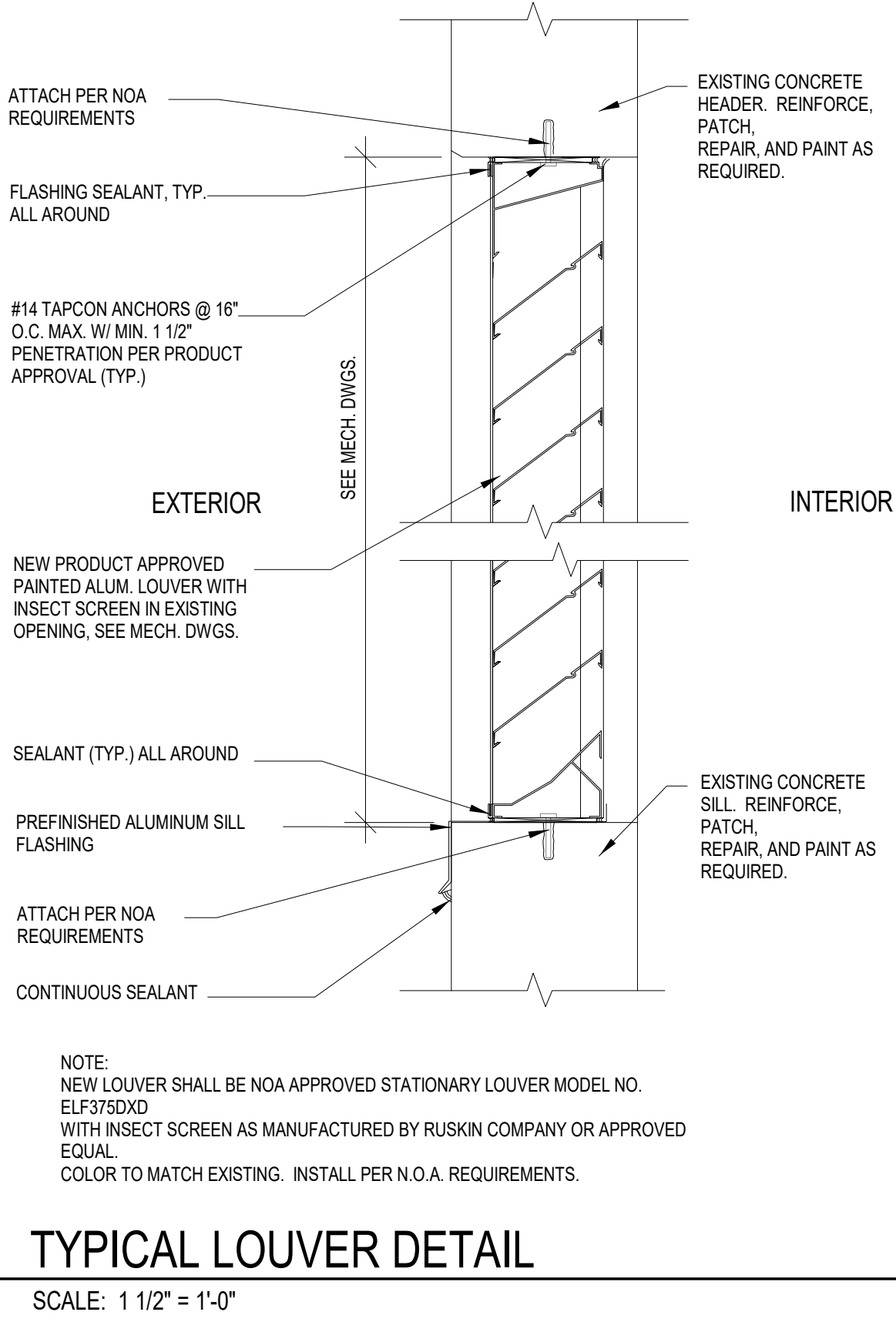
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Lighting Fixture Schedule								
Type Mark	Description	Manufacturer	Model	Wattage Comments	Voltage	Dimming	Mounting Description	Notes
A	9-IN x 9-IN EXTERIOR WET RATED VANDAL RESISTANT LED WALL SCONCE	KENALL	H99EL-PP-1-16L40K-DV	INTEGRAL 20w LED	120/277	0-10v	SURFACE	* SELECT FINISH
B	17-IN DIAM. ROUND CEILING MOUNTED VANDAL RESISTANT LED	KENALL	MR17FL-PP-1-25L40K-DV	INTEGRAL 29w LED	120/277	0-10v	SURFACE	* SELECT FINISH
C	8-FT CEILING MOUNTED VANDAL RESISTANT LINEAR LED	KENALL	MLH45-48-R-MW-PP-45L40K-DCC-DV	INTEGRAL 98w LED	120/277	0-10v	SURFACE	* CONFIRM FINISH
D	4-FT CEILING MOUNTED VANDAL RESISTANT LINEAR LED	KENALL	MLH45-48-R-MW-PP-45L40K-DCC-DV	INTEGRAL 49w LED	120/277	0-10v	SURFACE	* CONFIRM FINISH
F	12-IN x 12-IN SQUARE CEILING MOUNTED VANDAL RESISTANT LED	KENALL	MS11DL-PP-MW-10L40K-DV	INTEGRAL 15w LED	120/277	0-10v	SURFACE	* CONFIRM FINISH
X1	WALL / CEILING MOUNTED VANDAL RESISTANT LED EXIT	KENALL	METSU-MW-R/G-DT	INTEGRAL LED	120/277	N/A	SURFACE	* RED OR GREEN * CONFIRM FINISH
EM	EMERGENCY LIGHT	LITHONIA	ELM2 LED	INTEGRAL LED	120/277	N/A		



CEILING PLAN LEGEND & SHEET NOTES	
FIXTURE LEGEND	
	NEW 8'-0" LED LIGHT FIXTURE
	NEW 4'-0" LED LIGHT FIXTURE
	WALL MOUNTED EXIT SIGN
	CEILING MOUNTED EXIT SIGN
	SMOKE DETECTOR
REFLECTED CEILING PLAN NOTES:	
1. ALL CEILINGS ARE PLYWOOD AND TO BE PAINTED. 2. REPLACE ALL EXISTING LIGHT FIXTURES WITH SAME OR SIMILAR TYPE, SIZE WISE. NEW LIGHTS TO BE LED. 3. REPLACE ALL EXTERIOR LIGHT FIXTURES.	
LIGHTING FIXTURE NOTES:	
1. INTEGRAL LOW-VOLTAGE TRANSFORMER / POWER SUPPLY - CONTRACTOR TO VERIFY COMPATIBILITY WITH DIMMING SYSTEM. 2. OWNER / ARCHITECT TO VERIFY TRIM FINISH 3. INCLUDE REMOTE POWER SUPPLY - CONTRACTOR TO VERIFY COMPATIBILITY WITH DIMMING SYSTEM 4. INCLUDE ALL ELECTRICAL AND MOUNTING ACCESSORIES, CONNECTORS, ETC. 5. LENGTH IN INCHES PER PLAN 6. DIMENSIONS ARE NOMINAL. CONTRACTOR TO VERIFY EXACT SIZE AND / OR LENGTH PRIOR TO ORDERING 7. COORDINATE ALL LIGHTING WITH POWER AND LIGHTING SYSTEMS, INC. 8. PROVIDE ALL LIGHTING FIXTURES AS SPECIFIED. SUBSTITUTIONS WILL NOT BE ACCEPTED WITHOUT PRIOR WRITTEN APPROVAL FROM THE OWNER.	



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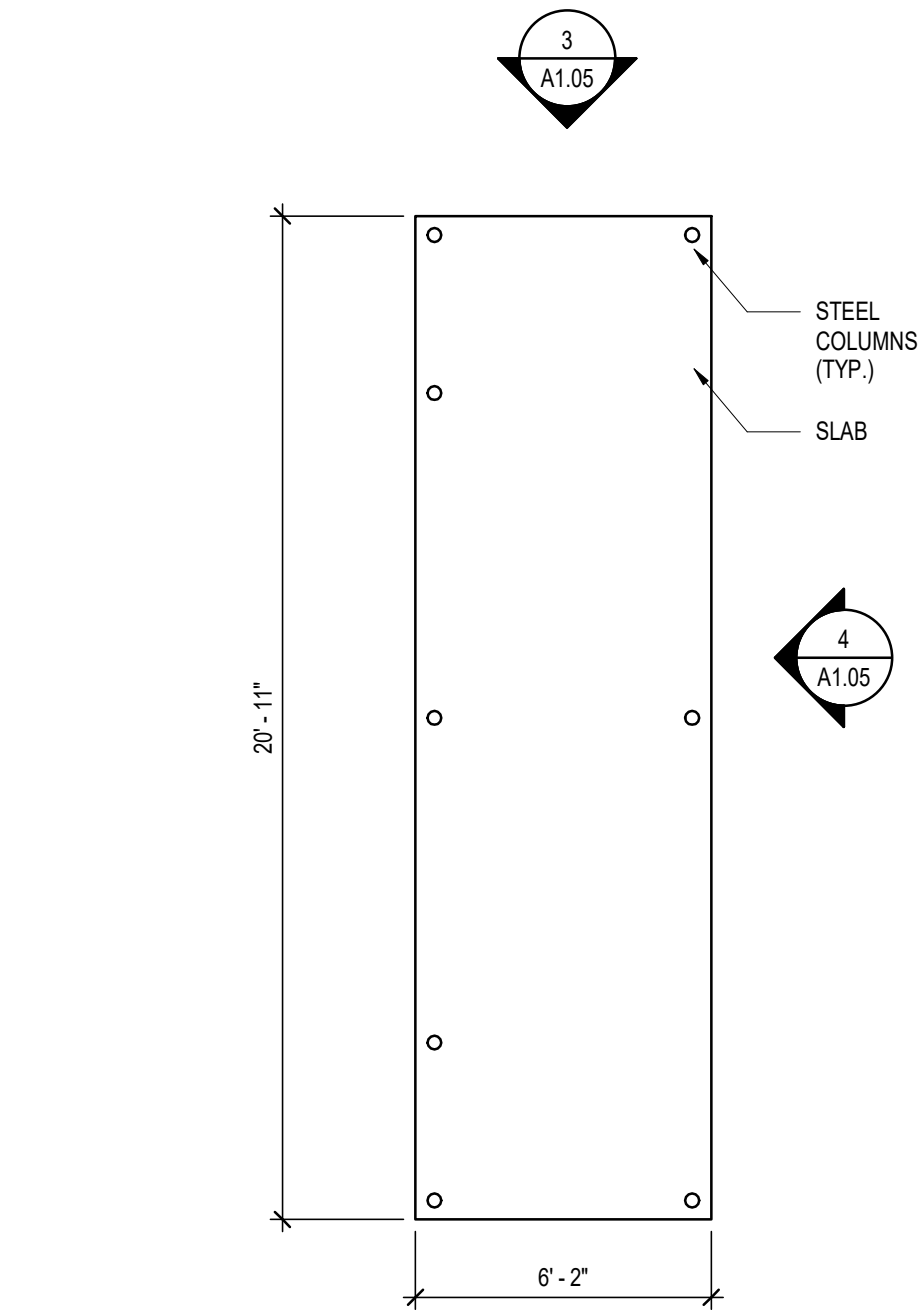
FIRST FLOOR REFLECTED  
CEILING PLAN, LIGHT  
FIXTURE SCHEDULE,  
FINISH SCHEDULE

A1.03

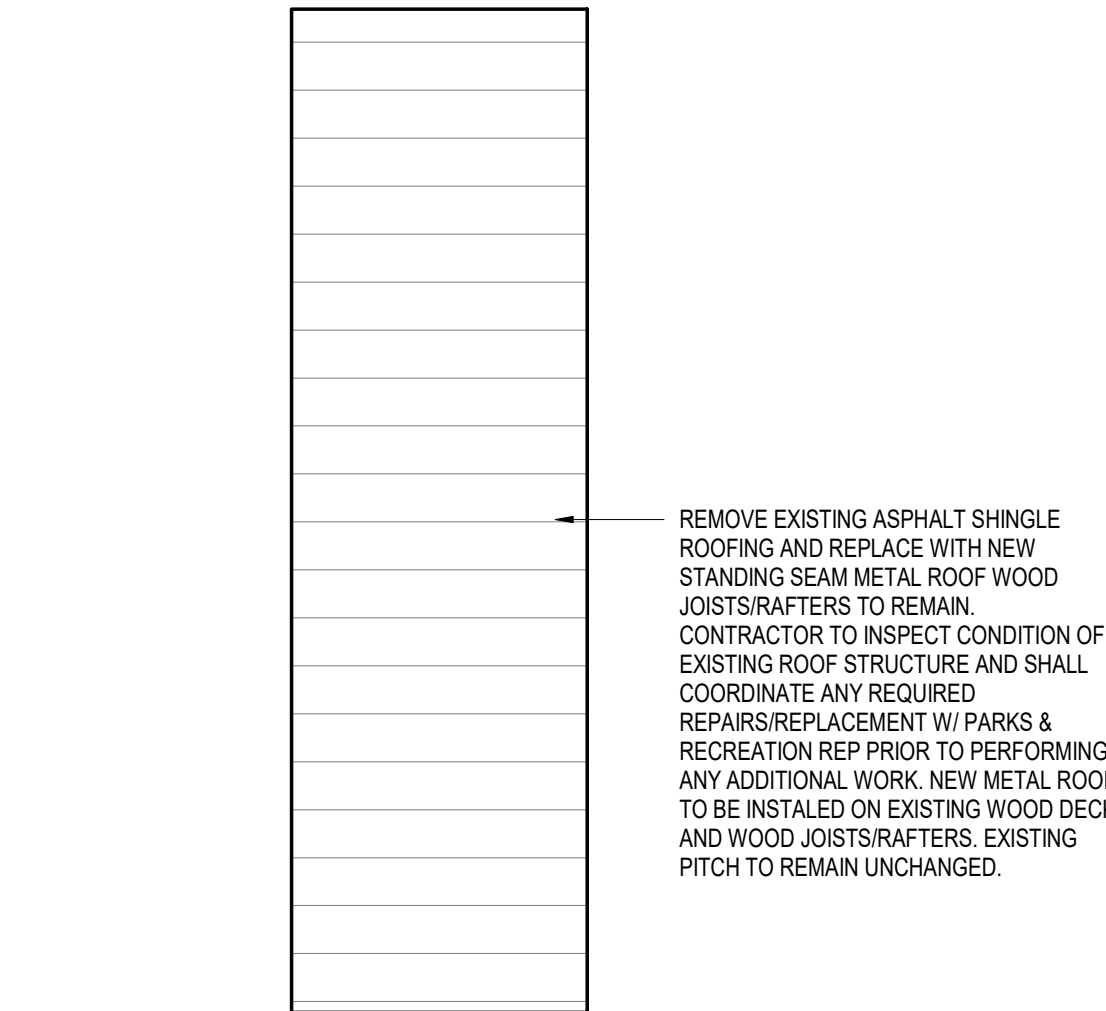
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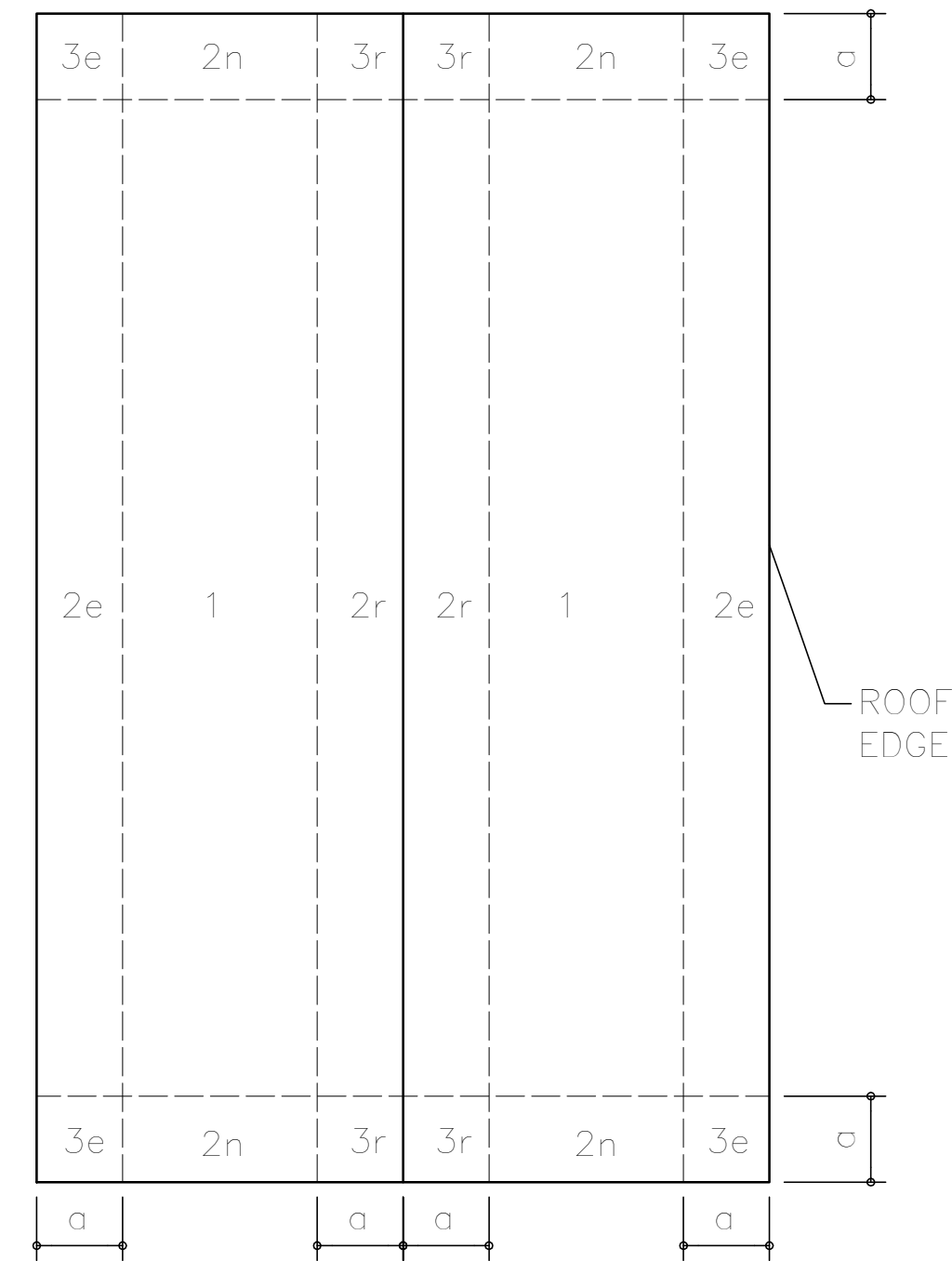
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2 DUGOUT FLOOR PLAN  
A1.05 SCALE: 1/4" = 1'-0"



1 DUGOUT ROOF PLAN  
A1.05 SCALE: 1/4" = 1'-0"



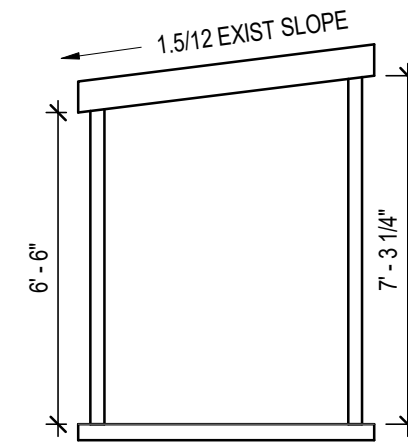
GABLE ROOF UPLIFT PLAN

PER ASCE 7-16  
ROOF SLOPE 7° TO 45°

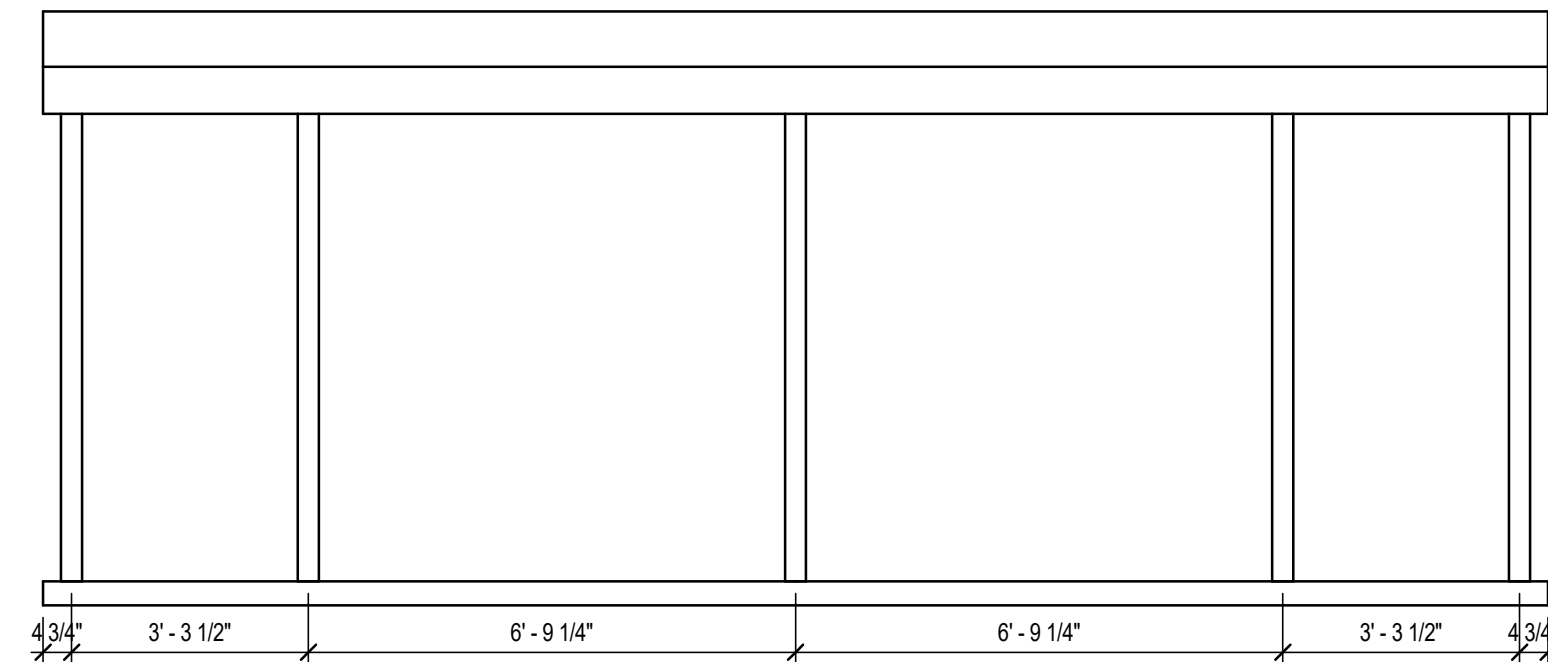
ZONE	W/O OVERHANG	ROOFING AT OVERHANG
1,2e	-55.1 PSF	-63.2 PSF
2n,2r	-80.4 PSF	-88.5 PSF
3e	-80.4 PSF	-104 PSF
3r	-95.5 PSF	-119 PSF

GROSS UPLIFT (ALLOWABLE) BASED ON 10 SF - FOR ROOFING LOADS FOR ASCE 7-16 DESIGN PARAMETERS; α=3'-3"

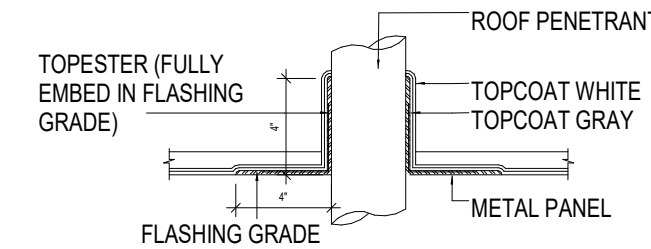
6 ROOF UPLIFT  
A1.05 SCALE: N.T.S.



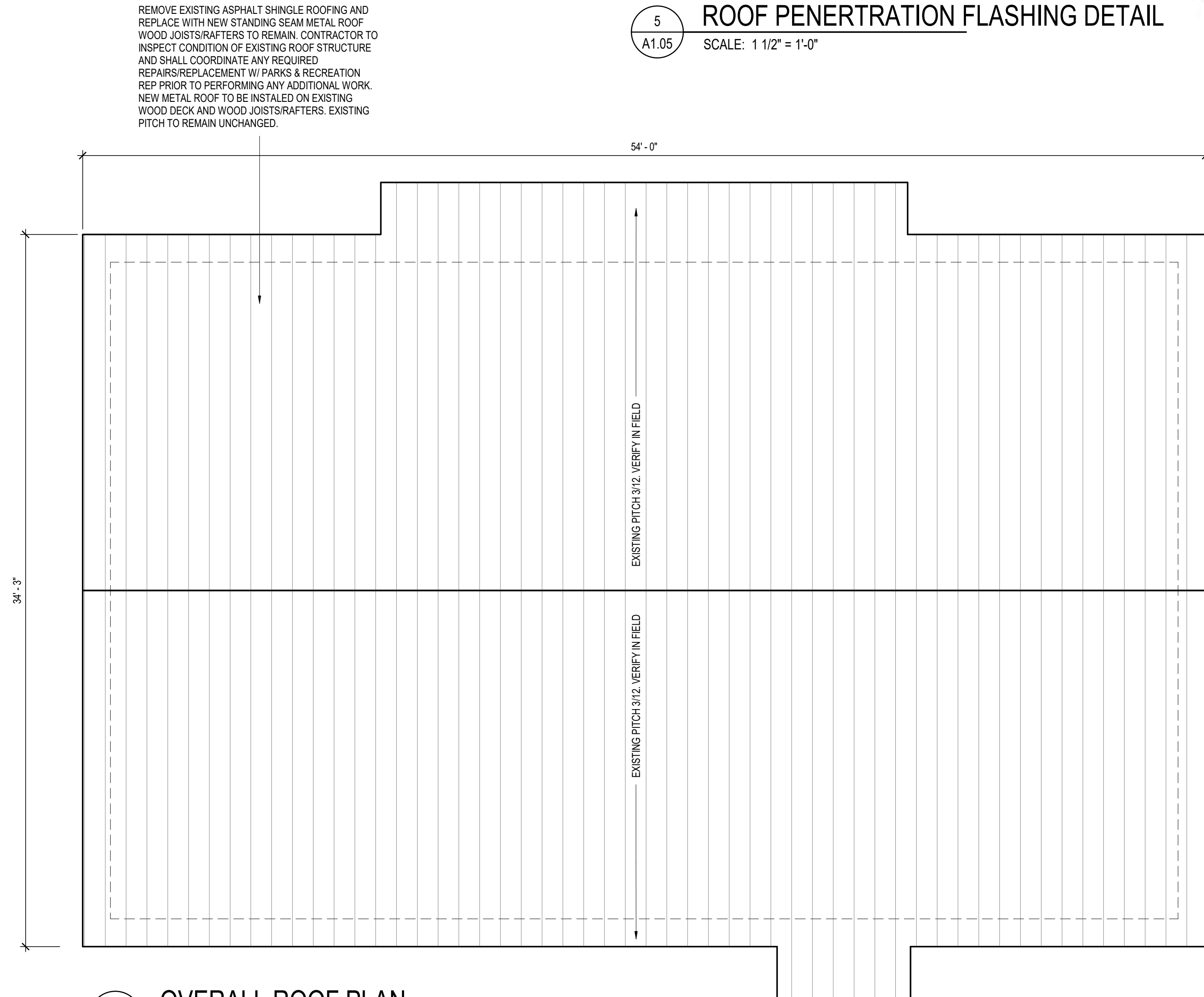
3 DUGOUT ELEVATION  
A1.05 SCALE: 1/4" = 1'-0"



4 DUGOUT ELEVATION  
A1.05 SCALE: 3/8" = 1'-0"



5 ROOF PENERTATION FLASHING DETAIL  
A1.05 SCALE: 1 1/2" = 1'-0"



A1 OVERALL ROOF PLAN  
A1.05 SCALE: 1/4" = 1'-0"

## ROOF PLAN GENERAL NOTES

- PER FBC 1525, ROOFING PERMIT APPLICATION SHALL BE SUBMITTED TO BUILDING DEPARTMENT
- PER FBC 1505.1, MINIMUM ROOF COVERING CLASSIFICATION SHALL BE CLASS B ROOF ASSEMBLY (TYPE IIA)
- CONTRACTOR SHALL BECOME FAMILIAR WITH AND VERIFY THE CONDITIONS, DIMENSIONS, AND LOCATIONS OF ALL ROOF AREAS INCLUDING FLASHING, PIPE LINES, CONDUIT, PIPE SUPPORTS, ETC., BEFORE SUBMITTING A BID OR COMMENCING WORK. ALL ROOF PENETRATIONS MAY NOT BE SHOWN.
- FLASH & SEAL ALL ROOF PENETRATIONS, AND OTHER APPURTENANCES IN ACCORDANCE WITH THE CONSTRUCTION DETAILS SHOWN ON CONTRACT DRAWINGS, APPROVED SHOP DRAWINGS AND AS REQUIRED BY THE ROOF MEMBRANE MANUFACTURER. THE PROJECT DETAILS SHALL GOVERN THE PRODUCT INSTALLATION UNLESS THE PRODUCT MANUFACTURER REQUIRES A MORE STRINGENT DETAIL FOR PURPOSES OF PROPER PRODUCT PERFORMANCE OR SYSTEM WARRANTY, IN WHICH CASE, THE MANUFACTURER'S DETAIL SHALL GOVERN.
- STRUCTURAL ATTACHMENT OF ANY WOOD NAILERS MUST BE ENGINEERED TO MEET THE FLORIDA BUILDING CODE.
- ALL AREAS MUST MEET SLOPE REQUIREMENTS FOR DRAINAGE.
- ROOF SYSTEM SHALL COMPLY WITH FLORIDA BUILDING CODE AND ALL OTHER APPLICABLE CODES.
- ALL ROOF MEMBRANE AND ASSEMBLIES SHALL BE INSTALLED PER MANUFACTURER'S INSTRUCTIONS & RECOMMENDATIONS
- ALL BUILDING ENVELOPE FLASHING AND SHEET METAL FLASHINGS SHALL BE INSTALLED AS PER SMACNA ARCHITECTURAL SHEET METAL

## STANDING SEAM METAL ROOFING SPECIFICATIONS

- REMOVE EXISTING ROOFING IN ITS ENTIRETY DOWN TO THE EXISTING WOOD DECK.
- VERIFY THAT THE EXISTING PLYWOOD DECK IS NAILED IN ACCORDANCE WITH THE 2020 FLORIDA BUILDING CODE, 7<sup>TH</sup> EDITION, AND IF NOT, PROVIDE ADDITIONAL ANCHORS TO COMPLY WITH THE FBC.
- COMPLY WITH REQUIREMENTS OF THE 2020 FLORIDA BUILDING CODE, 7<sup>TH</sup> EDITION, FOR WIND UPLIFT, WATER PENETRATION, AIR INFILTRATION, ETC.
- INSTALL NEW STANDING SEAM METAL ROOFING EQUAL TO ENGLERT SERIES 1300 STEEL 16" WIDE, 1-1/2" MECHANICALLY SEALED PANELS OVER 1/2" FIRE BARRIER BOARD, IN ACCORDANCE WITH APPROVED MIAMI-DADE N.O.A. OR FLORIDA PRODUCT APPROVAL.
- UNDERLAYMENT SHALL BE SELF-ADHERING WATERPROOFING MEMBRANE COMPOSED OF SBS MODIFIED BITUMEN AND UV ANTI-SLIP POLYETHYLENE WOVEN TOP FAYER, 40 MIL THICK, ENGLERT METALMAN HT.
- FINISH COATING - ENGLERT'S PERMACOLOR 3500 - FULL STRENGTH 70% KYNAR 500/ HYLAR 5000. COLOR AS SELECTED BY OWNER.
- PROVIDE CONTINUOUS DRIP FLASHING, FASTENERS, SEALANTS PANEL CLOSURES, ETC. AND ALL ACCESSORIES FOR A COMPLETE WATERTIGHT INSTALLATION
- SUBMIT SHOP DRAWINGS AND SAMPLES FOR APPROVAL PRIOR TO ORDERING MATERIALS.



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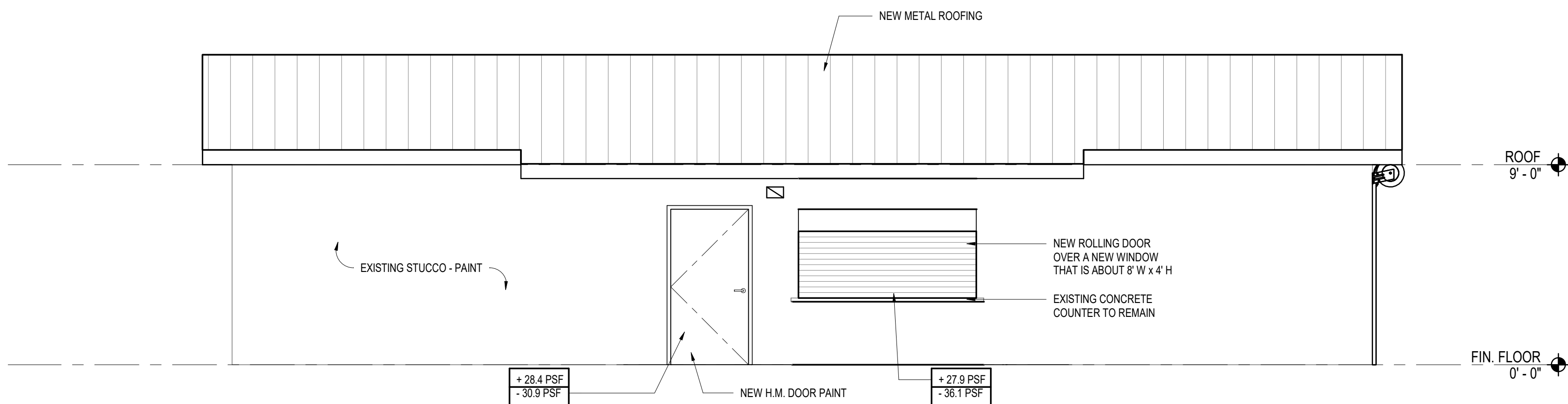
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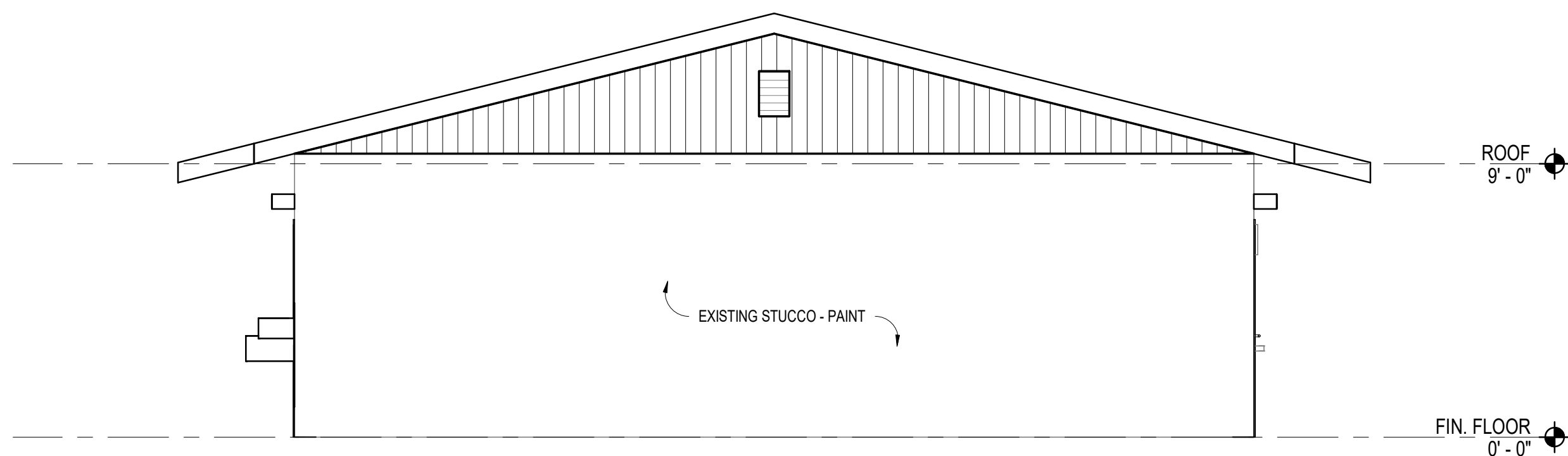
ROOF PLAN, NOTES

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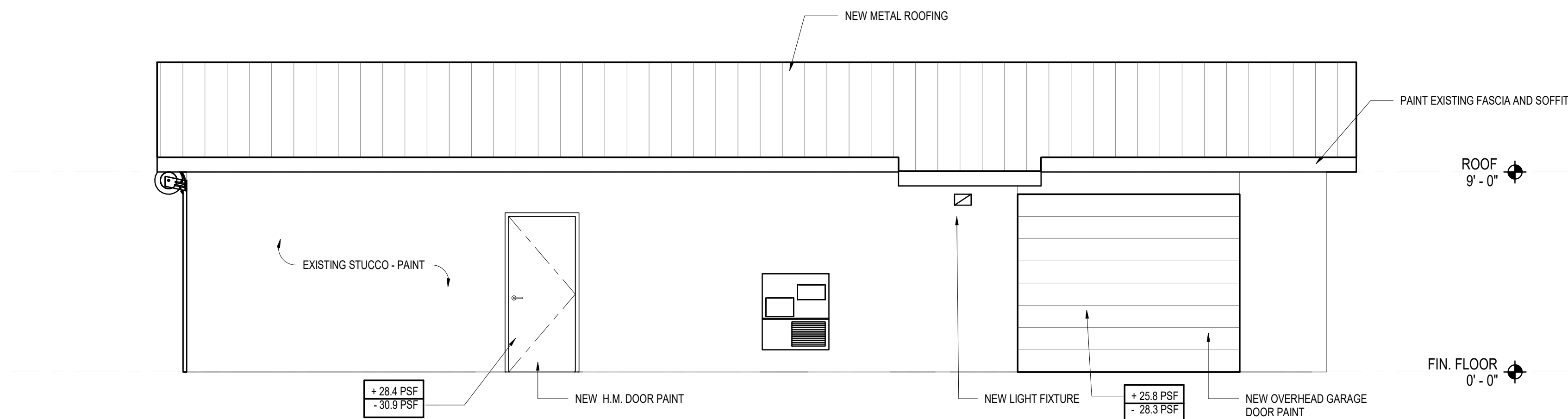


C1  
A3.00  
OVERALL NORTH BUILDING ELEVATION  
SCALE: 1/4" = 1'-0"

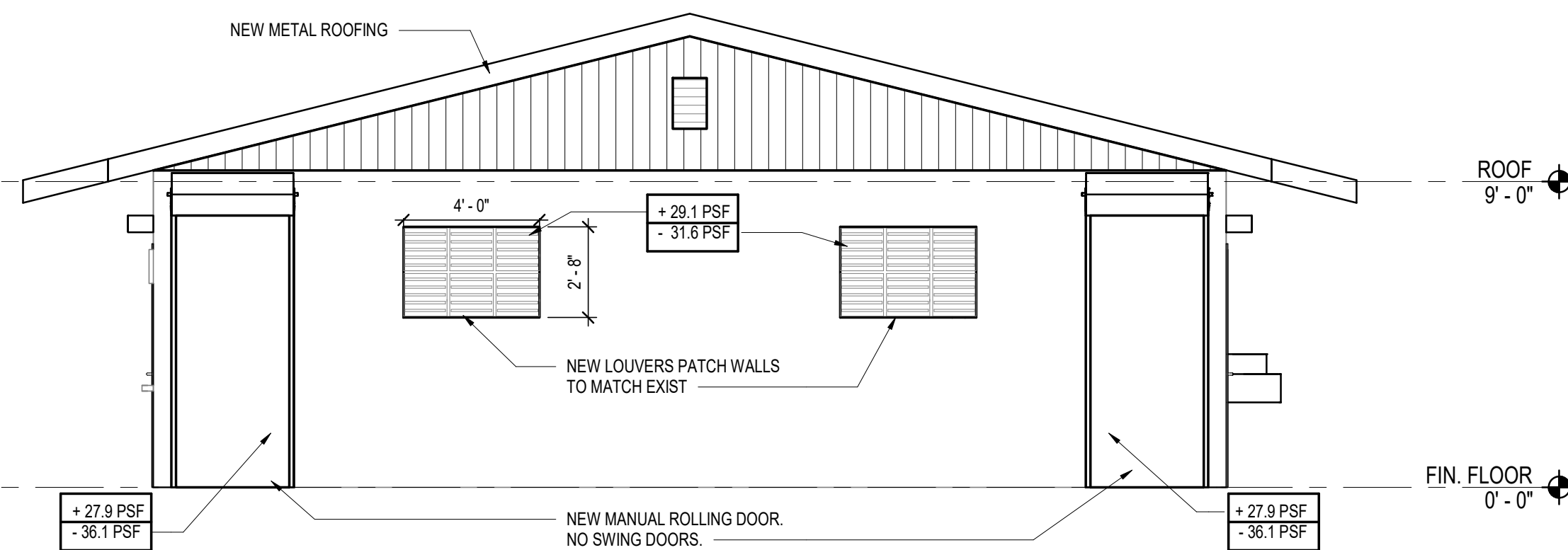


1  
A3.00  
OVERALL EAST BUILDING ELEVATION  
SCALE: 1/4" = 1'-0"

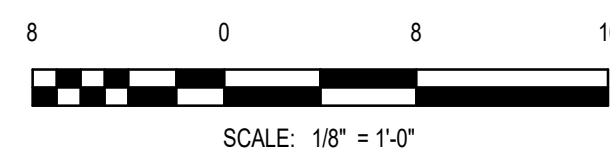
NOTE: PAINT ALL SURFACES THAT WERE ON THE EXTERIOR PREVIOUSLY PAINTED INCLUDING STUCCO WALL, PLYWOOD SOFFIT, WOOD FASCIA.



A1  
A3.00  
OVERALL SOUTH BUILDING ELEVATION  
SCALE: 1/4" = 1'-0"



2  
A3.00  
OVERALL WEST BUILDING ELEVATION  
SCALE: 1/4" = 1'-0"



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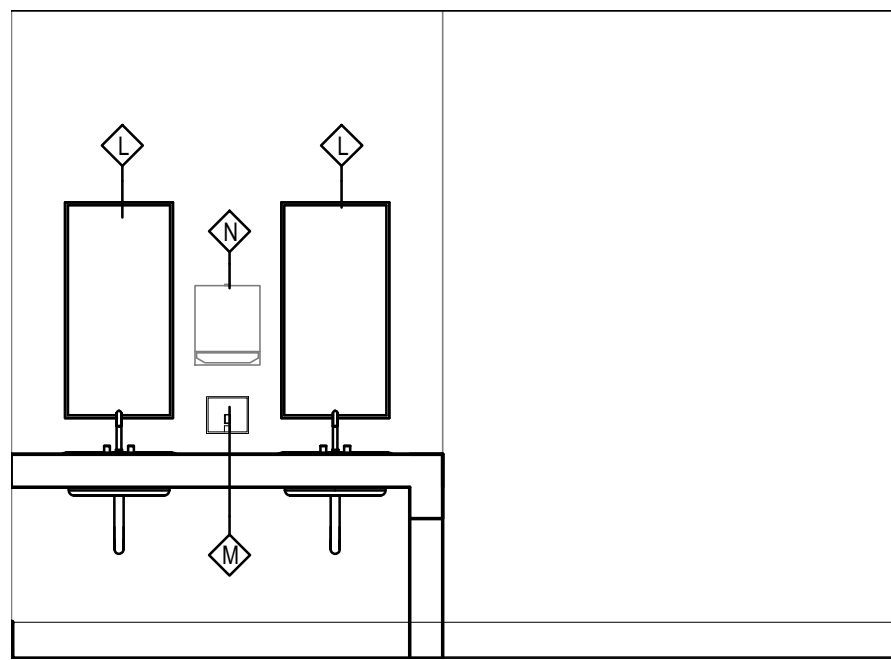
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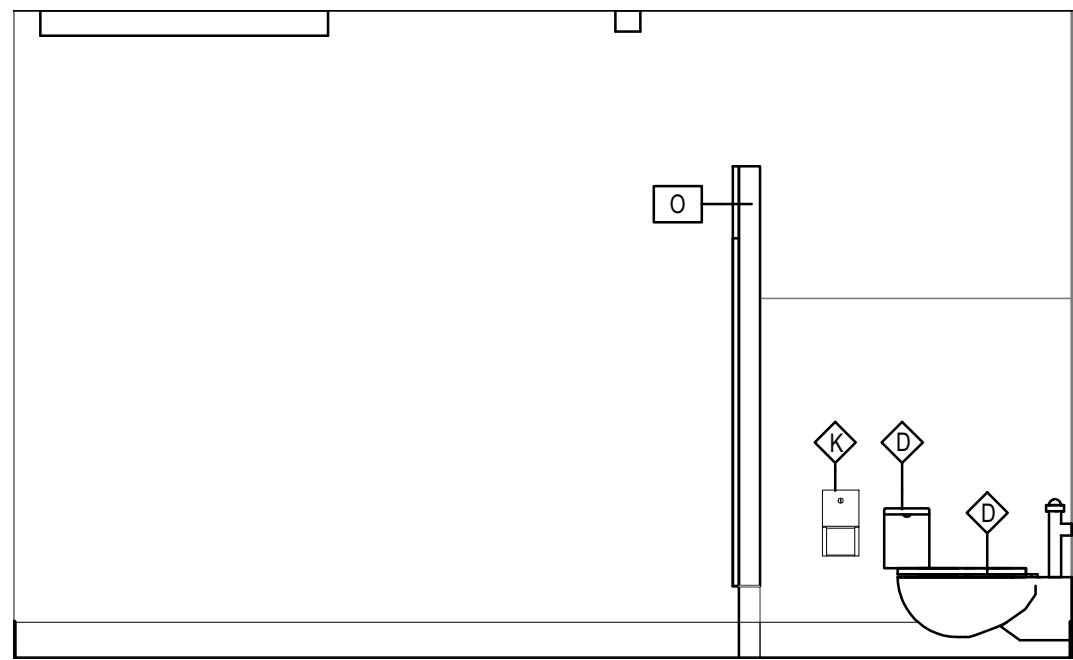
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BUILDING ELEVATIONS

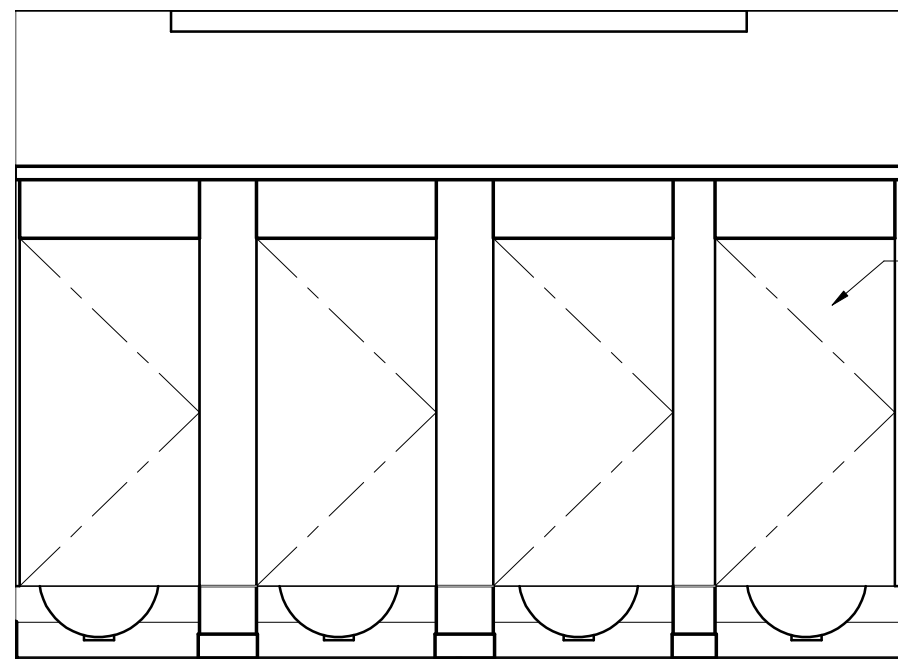
A3.00



3 WOMEN'S RR  
A5.00 SCALE: 3/8" = 1'-0"

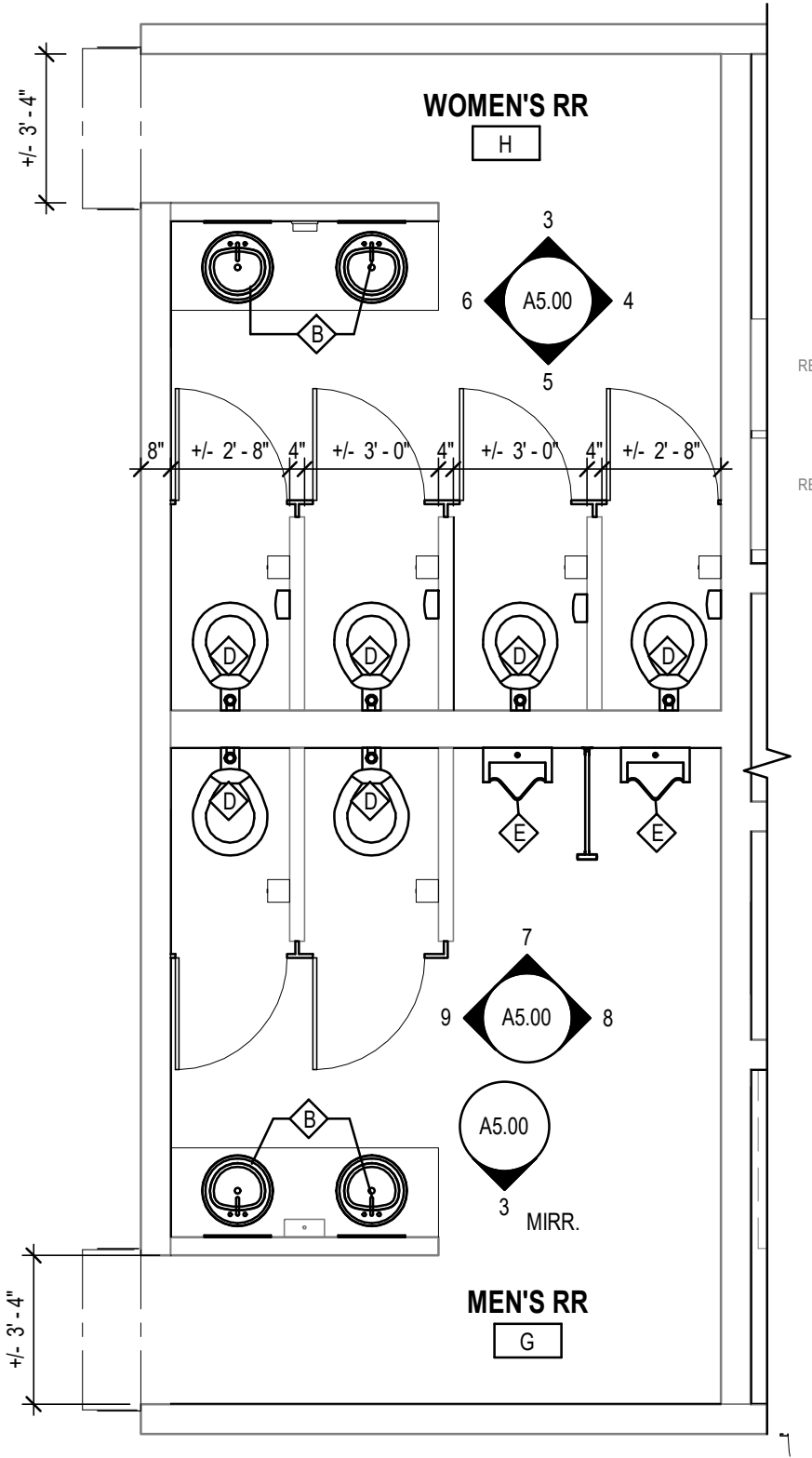


4 WOMEN'S RR  
A5.00 SCALE: 3/8" = 1'-0"

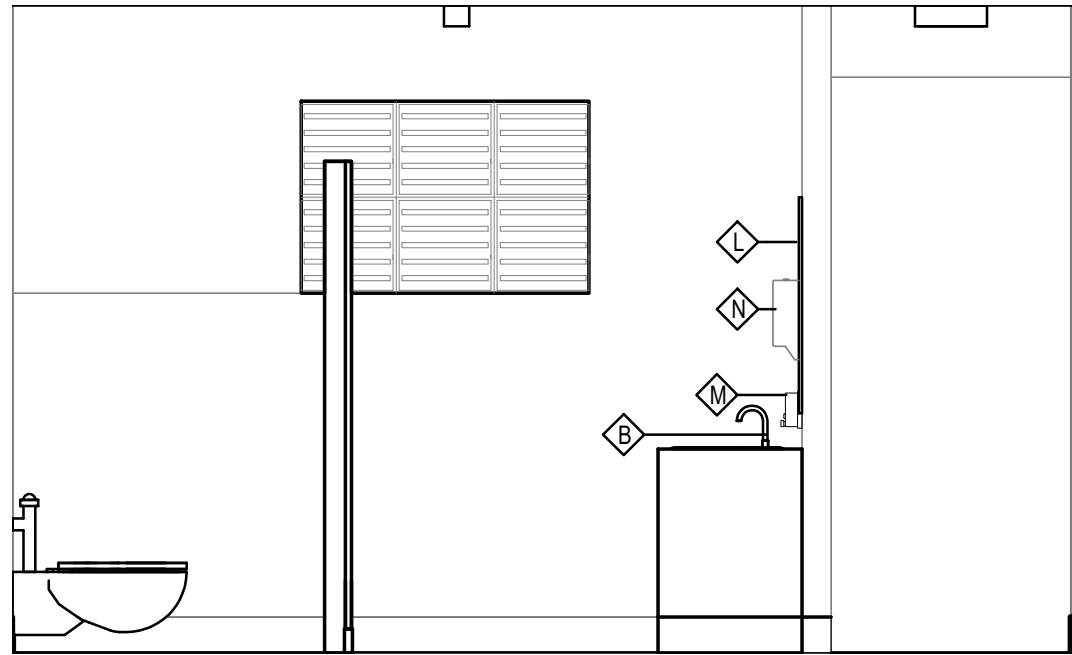


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A5.00 SCALE: 3/8" = 1'-0"

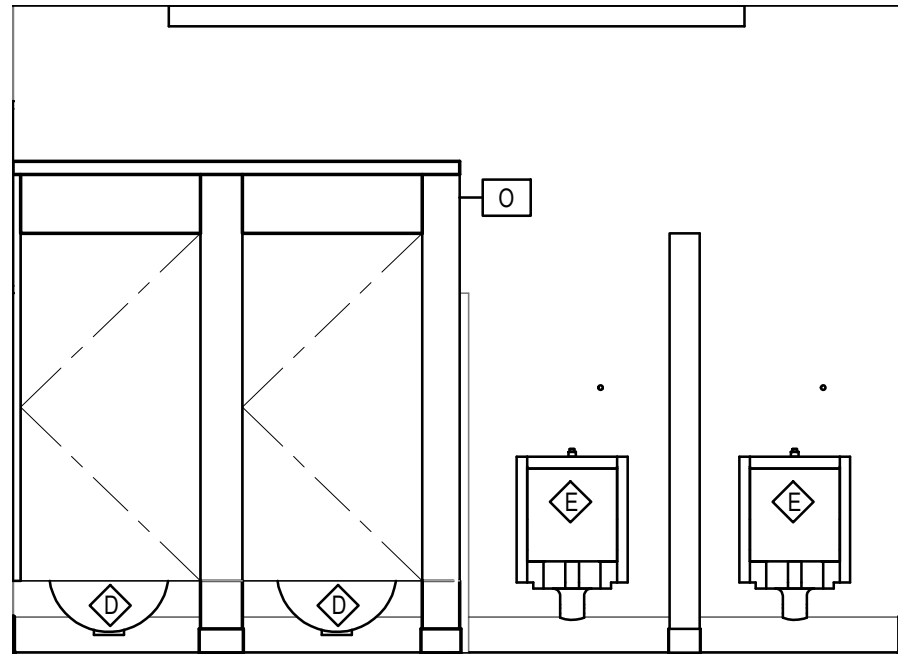
SOLID PHENOLIC  
OVERHEAD BRACED  
TOILET PARTITIONS



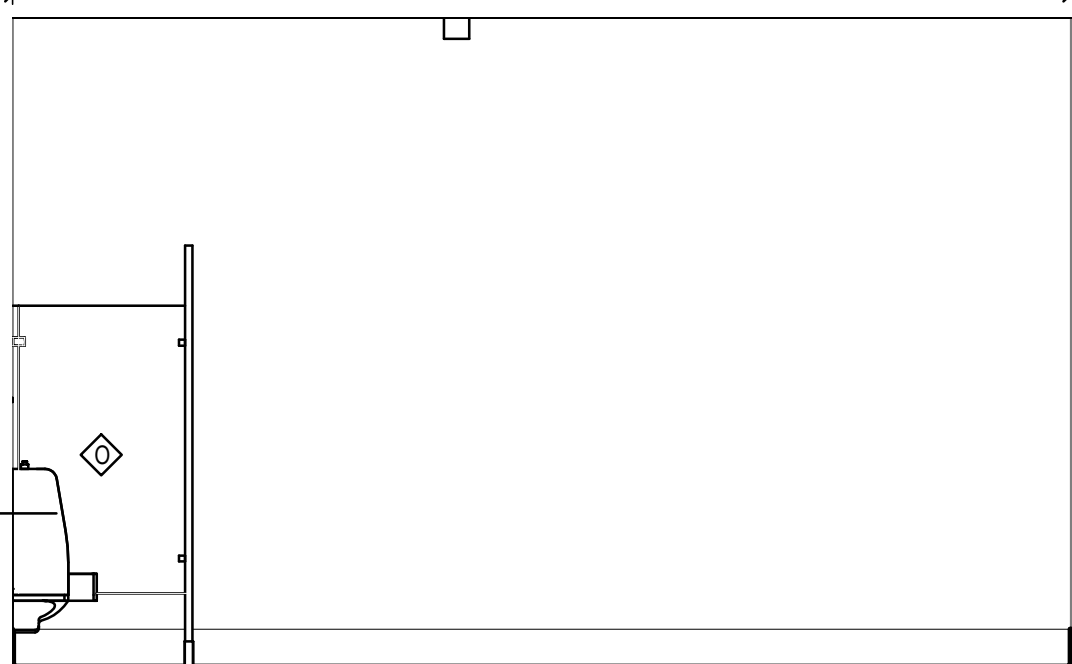
1 ENLARGED FLOOR PLAN - BATHROOM  
A5.00 SCALE: 1/4" = 1'-0"



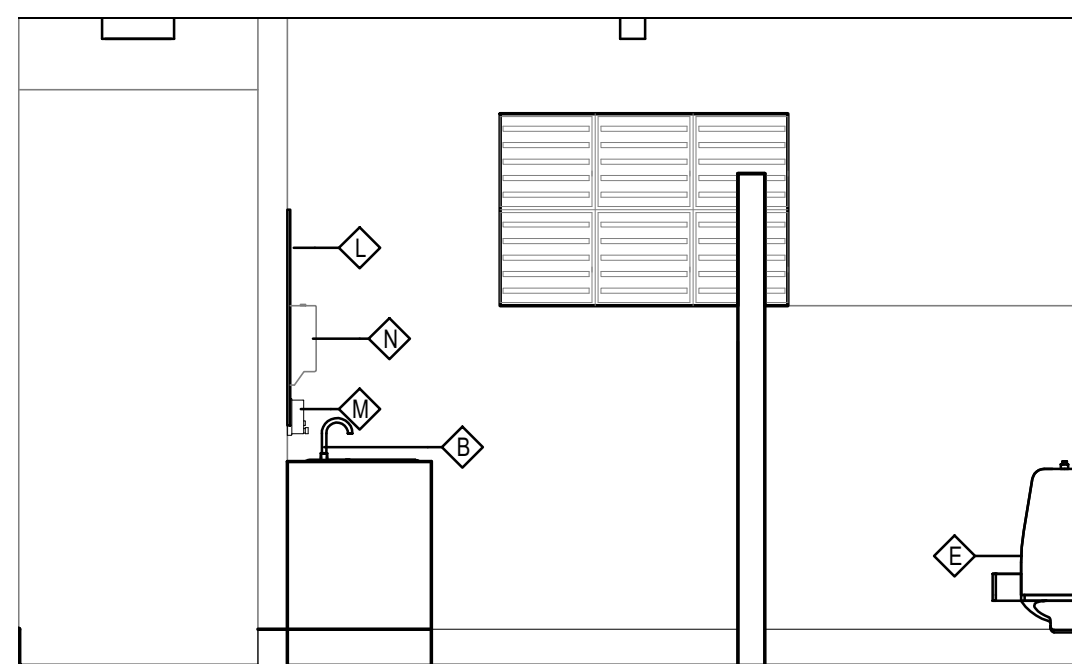
6 WOMEN'S RR  
A5.00 SCALE: 3/8" = 1'-0"



7 MEN'S RR  
A5.00 SCALE: 3/8" = 1'-0"



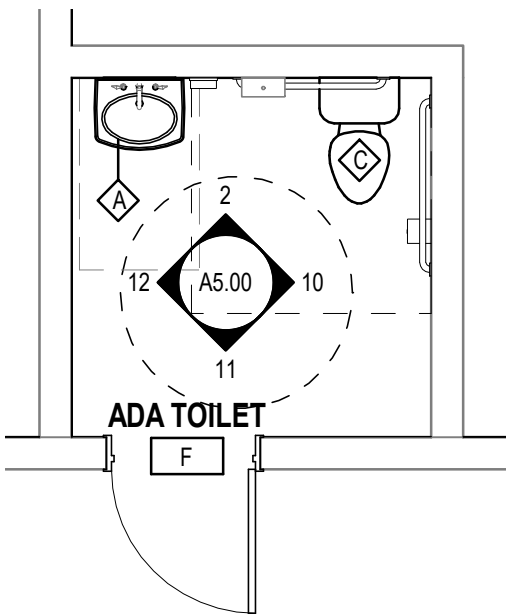
8 MEN'S RR  
A5.00 SCALE: 3/8" = 1'-0"



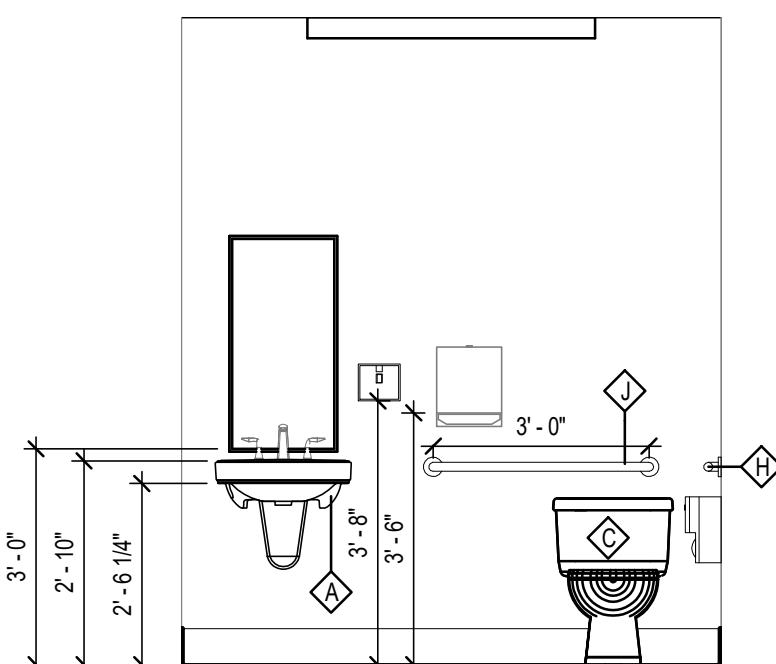
9 MEN'S RR  
A5.00 SCALE: 3/8" = 1'-0"

PLUMBING FIXTURE & TOILET ACCESSORY SCHEDULE			
NO.	FIXTURE	MANUFACTURER	MODEL & DESCRIPTION
A	WALL HUNG LAVATORY (ADA)	AMERICAN STANDARD LUCERNE WALL-HUNG LAVATORY MODEL #0356, COLOR WHITE, SINGLE CENTER FAUCET HOLE. VERIFY WALL HANGER REQUIRED	FAUCET: AMERICAN STANDARD MODEL #1340.119M CAST SPOUT, 0.5 GPM PRESSURE COMPENSATING VANDAL-RESISTANT, NON-AERATED SPRAY WITH MECHANICAL MIXING VALVE, COMPLETE DRAIN ASSEMBLY, SUPPLY PIPES, ANGLE STOPS & ADJUSTABLE "P" TRAP, PROVIDE BOOT TO COVER DRAIN AND WATER PIPING.
B	COUNTER MOUNTED	AMERICAN STANDARD MODEL #AQUALYN COUNTERTOP SINK MODEL # 0476.047, CENTER HOLE ONLY	FAUCET: AMERICAN STANDARD MODEL #1340.119M CAST SPOUT, 0.5 GPM PRESSURE COMPENSATING VANDAL-RESISTANT, NON-AERATED SPRAY WITH MECHANICAL MIXING VALVE, COMPLETE DRAIN ASSEMBLY, SUPPLY PIPES, ANGLE STOPS & ADJUSTABLE "P" TRAP.
C	FLOOR MOUNTED WATER CLOSET COMBO (ADA)	SLOAN ELONGATED MODEL #WETS-2020.1010 VITREOUS CHINA WITH FLUSHOMETER COMBO	FAUCET: SLOAN 111 FLUSHOMETER, 1.28 GPF, PROVIDE FLOOR FLANGE WITH ALL BRASS BOLTS AND RUBBER GASKET. PROVIDE WITH BEMIS SEAT
D	WALL MOUNTED WATER CLOSET COMBO	SLOAN ELONGATED MODEL #WETS-2450.1010 VITREOUS CHINA	FAUCET: SLOAN 111 FLUSHOMETER, 1.28 GPF, INSTALL ON EXISTING BLOCK WALL. PROVIDE NON-WAX GASKET. PROVIDE WITH BEMIS SEAT
E	URINAL	SLOAN MODEL #WEUS-1000.1010, WITH FLUSHOMETER COMBO, WHITE COLOR, WALL MOUNTED W/ 3/4" TOP SPUD VITREOUS CHINA	FAUCET: SLOAN 186 FLUSHOMETER, 0.125 GPF, PREMEX SYNTHETIC RUBBER DIAPHRAGM WITH DUAL BYPASS
F	3 COMPARTMENT SINK	ELKAY MODEL #STAINLESS STEEL 37"X19-1/2" X14", 18 GAUGE, COUNTER MOUNTED	FAUCET: ELKAY MODEL #LK408HA08L2 8" HIGH ARC, 2" LEVER HANDLES 4" CENTER WITH EXPOSED DECK FAUCET SWING SPOUT, COMPLETE DRAIN ASSEMBLY, SUPPLY PIPES, ANGLE STOPS & ADJUSTABLE "P" TRAP.
G	HAND SINK WITH FAUCET WALL MOUNTED	ELKAY #SEHS-17X STAINLESS STEEL, WALL MOUNTED 17"X15"X11"	FAUCET: ELKAY MODEL #LK940LGN0SLSH 5-1/8" GOOSENECK, 2" LEVER HANDLES.
H	GRAB BAR	BOBRICK	B-6806 1-1/2" O.D. - 3'-6"
J	GRAB BAR	BOBRICK	B-6806 1-1/2" O.D. - 3'-0"
K	TOILET TISSUE DISPENSER	BOBRICK	ADA COMPLIANT, B-2892
L	MIRROR	BOBRICK	B 1651636 (18" W x 36" H)
M	SOAP DISPENSER	BOBRICK	B-4112
N	PAPER TOWEL DISPENSER	BOBRICK	B-4262
O	TOILET PARTITION / URINAL SCREEN	BOBRICK	SOLID PHENOLIC DURALINE SERIES #1082.67P WITH S.S. HARDWARE
P	FEMINE WASTE RECEPTACLE	BOBRICK	B-254
Q	WASTE RECEPTACLE	BOBRICK	B-279

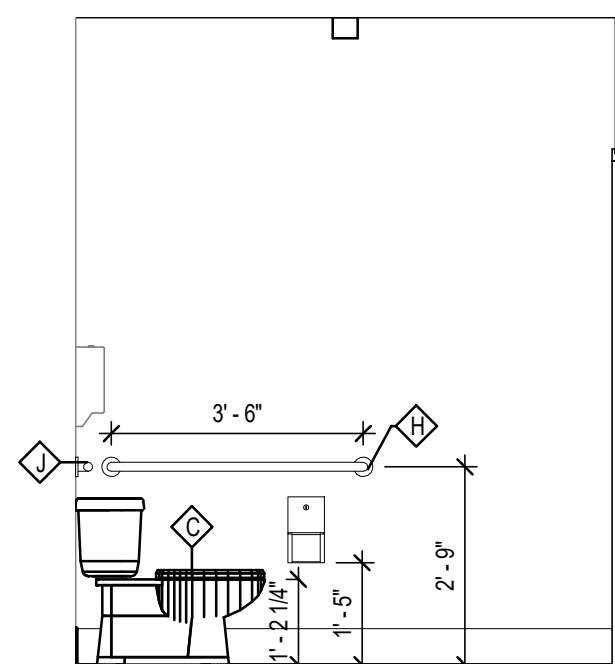
**NOTES:**  
1. NEW PLUMBING FIXTURES ARE REPLACING EXISTING PLUMBING FIXTURES. VERIFY ALL EXISTING CONDITIONS PRIOR TO ORDERING FIXTURES AND STARTING WORK.  
2. AMERICAN STANDARD, KOHLER AND SLOAN ARE ACCEPTABLE.  
3. ALL PLUMBING WORK SHALL BE IN ACCORDANCE WITH 2020 FBC AND APPLICABLE LOCAL CODES.  
4. ALL MATERIAL SHALL BE NEW.  
5. ALL WORK SHALL BE PERFORMED BY A LICENSED PLUMBING CONTRACTOR IN A FIRST-CLASS WORKMANLIKE MANNER. THE COMPLETED SYST3EM SHALL BE FULLY OPERATIONAL.  
6. CONTRACTOR SHALL SECURE AND PAY FOR ALL PERMITS, FEES INSPECTIONS AND TESTS.  
7. ALL TOILET ACCESSORIES ARE SURFACE MOUNTED.



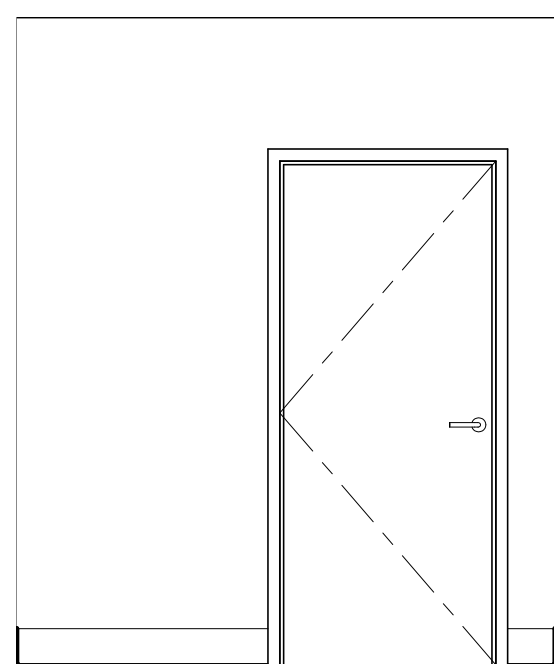
14 ENLARGED FLOOR PLAN - HANDICAP RR  
A5.00 SCALE: 1/4" = 1'-0"



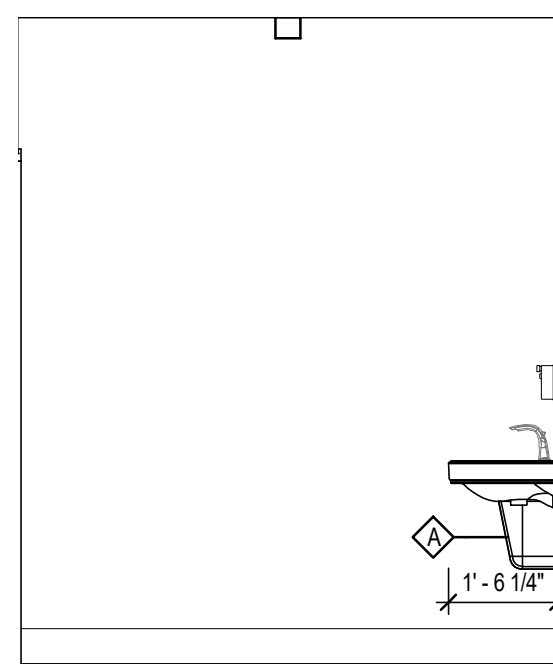
2 HANDICAP RR  
A5.00 SCALE: 3/8" = 1'-0"



10 HANDICAP RR  
A5.00 SCALE: 3/8" = 1'-0"



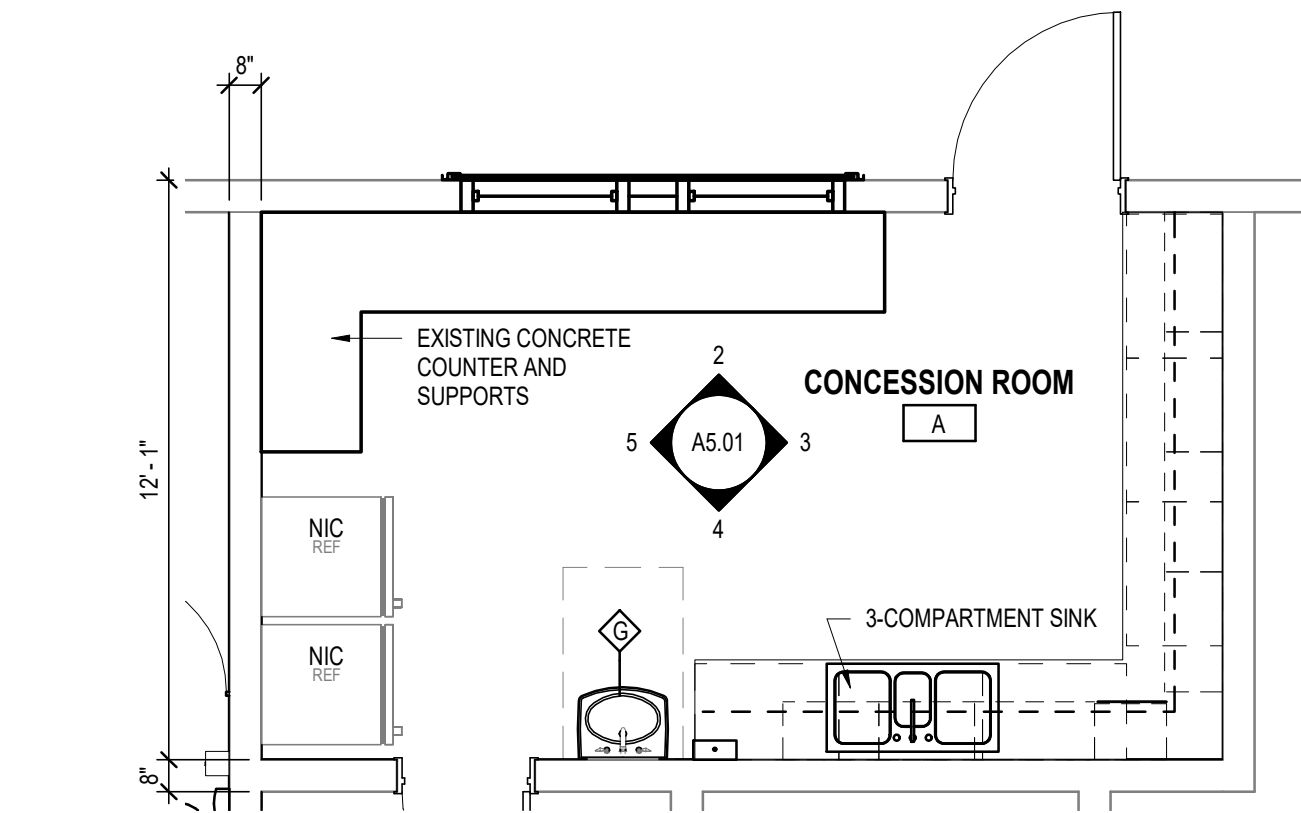
11 HANDICAP RR  
A5.00 SCALE: 3/8" = 1'-0"



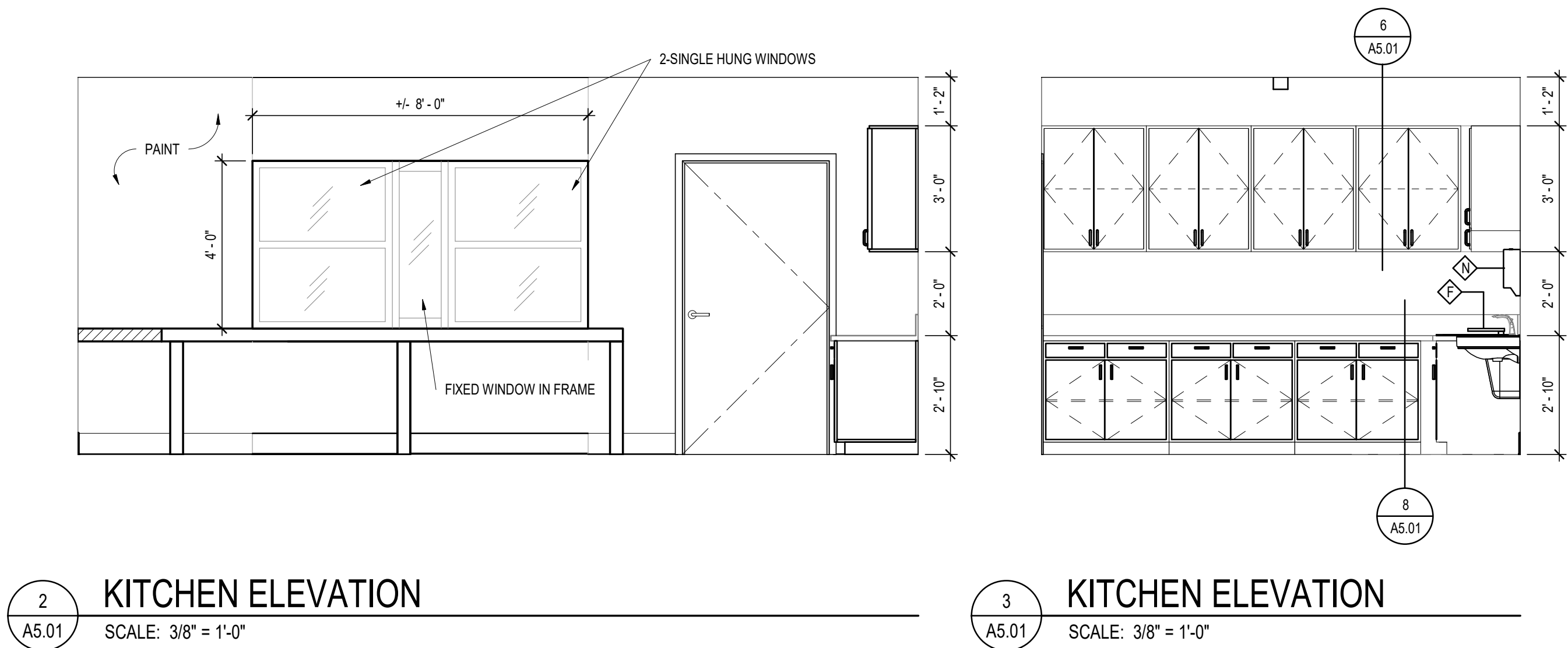
12 HANDICAP RR  
A5.00 SCALE: 3/8" = 1'-0"



S:\Projects\2022\2022-178 Drawings\07 CDs\03 Interior Comp\Concession Building Belle Glade 2.rvt

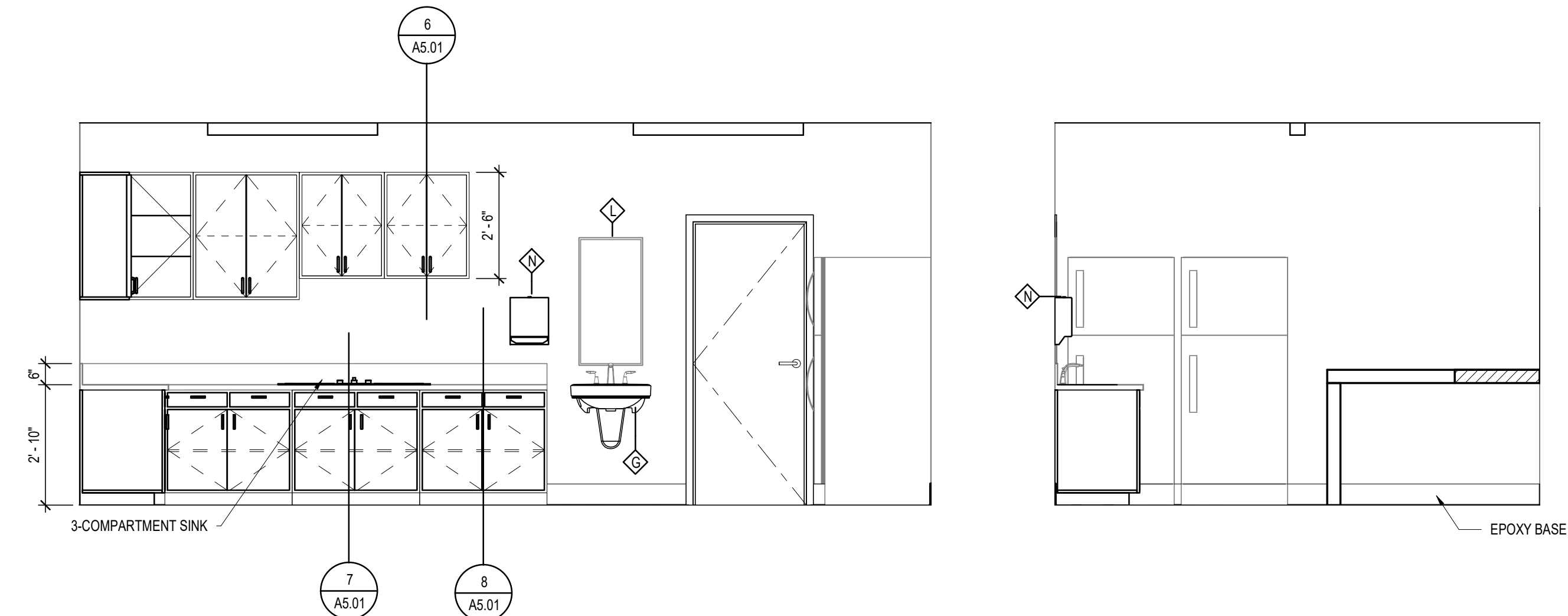


1  
A5.01  
ENLARGED FLOOR PLAN - KITCHEN  
SCALE: 1/4" = 1'-0"



2  
A5.01  
KITCHEN ELEVATION  
SCALE: 3/8" = 1'-0"

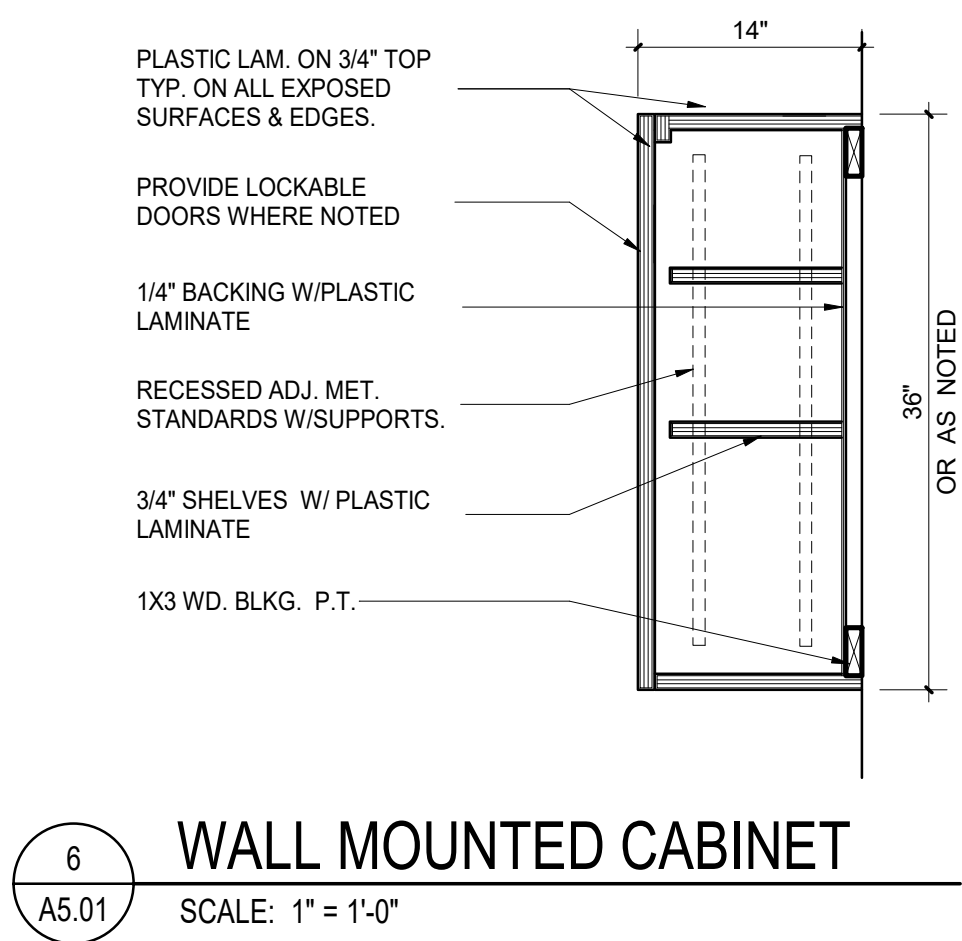
3  
A5.01  
KITCHEN ELEVATION  
SCALE: 3/8" = 1'-0"



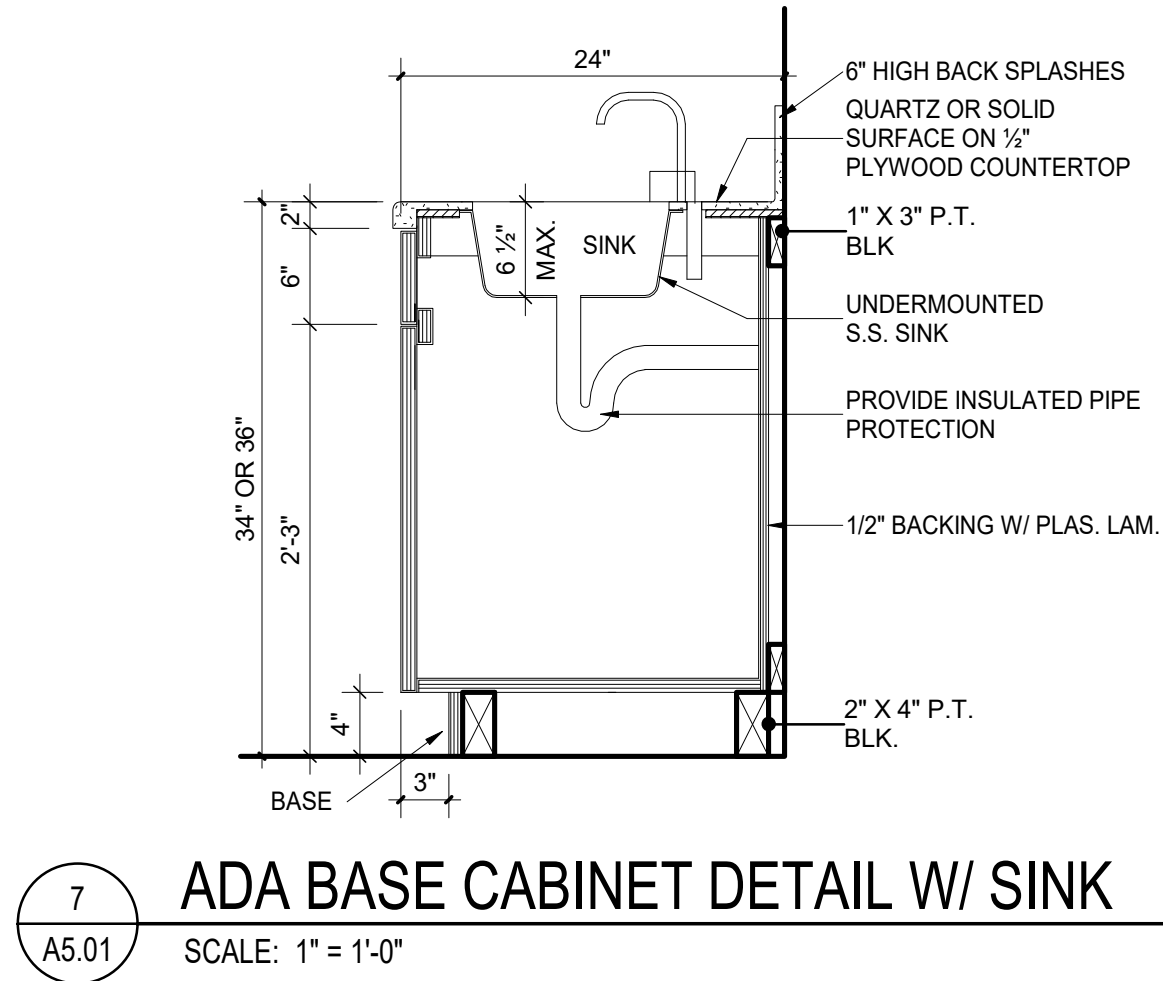
4  
A5.01  
KITCHEN ELEVATION  
SCALE: 3/8" = 1'-0"

5  
A5.01  
KITCHEN ELEVATION  
SCALE: 3/8" = 1'-0"

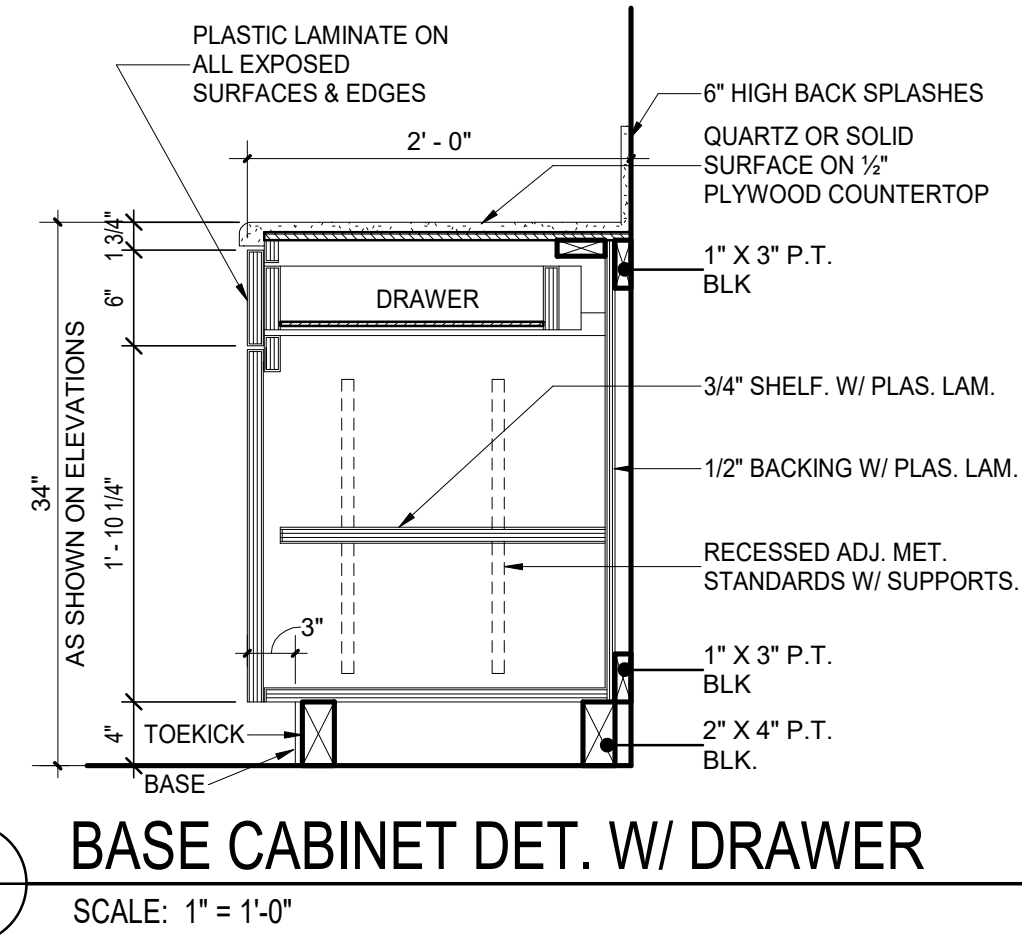
GENERAL NOTES:
SEE SHEET A5.0 FOR PLUMBING FIXTURE & TOILET ACCESSORY SCHEDULE
MILLWORK NOTES:
1. THE CABINET MANUFACTURER SHALL FIELD VERIFY ALL DIMENSIONS PRIOR TO MANUFACTURING. ANY DISCREPANCY SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT.
2. ALL MILLWORK SHALL BE CONSTRUCTED IN ACCORDANCE WITH "PREMIUM GRADE" STANDARDS AS ESTABLISHED BY THE LATEST EDITION OF THE "ARCHITECTURAL WOODWORK INSTITUTE" (AWI).
3. THE CABINET MANUFACTURER SHALL PROVIDE COMPLETE SHOP DRAWINGS TO THE ARCHITECT FOR REVIEW AND APPROVAL.
4. CONTRACTOR SHALL PROVIDE WOOD BLOCKING AS REQUIRED FOR ALL UPPER AND LOWER CABINETRY. COORDINATE HEIGHTS AND LOCATIONS IN THE FIELD.
5. PROVIDE MICA ON ALL EXPOSED SURFACES. CAULK JOINTS AND SPLASHES AS REQUIRED.
6. ALL SHELVES, INTERIOR FACES OF THE CABINETS, AND DRAWER INTERIORS TO BE FINISHED WITH PLASTIC LAMINATE OR CLEAR COATED SOLID PLYWOOD.
7. ALL DOOR HINGES TO BE CONCEALED. EUROPEAN HINGES.
8. ALL DRAWERS TO BE ON HEAVY DUTY, COMMERCIAL GRADE GALVANIZED METAL TRACKS AND GLIDES. 100 LB MINIMUM CAPACITY.
9. ALL CABINET CONSTRUCTION SHALL BE PLYWOOD. PARTICLE BOARD IS NOT ACCEPTABLE.
10. CABINET STYLE SHALL BE FLUSH OVERLAY.
11. ALL CABINETS SEAMS AT WALLS AND FLOOR SHALL BE SEALED.
12. PROVIDE LOCKS FOR UPPER CABINET DOORS AND LOWER CABINET DRAWERS AND DOORS THROUGHOUT. CONTRACTOR TO COORDINATE LOCKING OF CABINETS WITH OWNER'S REPRESENTATIVE.
13. LOCKS, IF REQUIRED, SHALL BE SARGENT OR EQUAL & SHALL BE MASTERKEYED PER OWNER'S INSTRUCTIONS.



6  
A5.01  
WALL MOUNTED CABINET  
SCALE: 1" = 1'-0"



7  
A5.01  
ADA BASE CABINET DETAIL W/ SINK  
SCALE: 1" = 1'-0"



8  
A5.01  
BASE CABINET DET. W/ DRAWER  
SCALE: 1" = 1'-0"

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ENLARGED CONCESSION  
PLAN AND INTERIOR  
ELEVATIONS AND  
CASEWORK DETAILS

A5.01

Project No. :  
2022-178  
Drawn By :  
EQ  
Checked By :  
CM/SD  
Date:  
03/06/2023  
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